



**HAZMAT
SERVICES**

Stage 1 Preliminary Site
Investigation
Denmark Link Road, Riverstone NSW
N3718_PSI_RPT01_R1_190720
July 2020



OHS | WASTE | ENVIRONMENT

Stage 1 Preliminary Site Investigation

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July 2020

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ABBREVIATIONS

ACM	Asbestos Containing Material
AEC	Area of Environmental Concern
AHD	Australian Height Datum
AMP	Asbestos Management Plan
ASC NEPM	National Environment Protection (Assessment of Site Contamination) Measure
ASS	Acid Sulfate Soils
bgs	Below ground surface
BTEX	Benzene, Toluene, Ethylbenzene and Xylenes
COPC	Chemical of Potential Concern
CSM	Conceptual Site Model
CSMP	Contaminated Site Management Plan
DCP	Development Control Plan
DSI	Detailed Site Investigation
EI	EI Australia Pty Ltd
Hazmat	Hazmat Services Pty Ltd
Hills Environmental	Hills Environmental Pty Ltd
NEPC	National Environment Protection Council
NSW EPA	NSW Environment Protection Authority
OCP	Organochlorine Pesticides
OPP	Organophosphorus Pesticides
PAH	Polycyclic Aromatic Hydrocarbons
PCB	Polychlorinated Biphenyls
PSI	Preliminary Site Investigation
RAP	Remediation Action Plan
REF	Review of Environmental Factors
SOP	Standard Operating procedure
TRH	Total Recoverable Hydrocarbons
VENM	Virgin Excavated Natural Material

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EXECUTIVE SUMMARY

This report presents the findings of a Stage 1 Preliminary Site Investigation ("PSI") undertaken by Hazmat Services Pty Ltd ("Hazmat") for the proposed Denmark Link Road project at Riverstone, NSW.

The PSI was commissioned by Hills Environmental Pty Ltd ("Hills Environmental") (the "Client") in response to a Hazmat fee proposal (Hazmat Proposal Ref.: N3718_PRP_R0_210520).

Transport for NSW ("TfNSW") is proposing to construct the Denmark Link Road in Riverstone, NSW. The proposed road will provide a connection from Garfield Road West via Denmark Road to West Parade, which will be extended to the Westminster Street Bridge at Schofields.

For the purposes of this project, (the "Site") is defined as the extent of the proposed Denmark Link Road project, extending from Garfield Road West in Riverstone to the Westminster Street Bridge in Schofields. Hills Environmental has been engaged to TfNSW to prepare a Review of Environmental Factors ("REF") for the project. TfNSW has requested a PSI be undertaken as part of the REF. Hills Environmental therefore engaged Hazmat to carry out the PSI at the Site.

The objectives of the PSI were to:

- Identify Areas of Environmental Concern ("AECs") and Chemicals of Potential Concern ("COPCs") for the Site, and develop a preliminary Conceptual Site Model ("CSM");
- Assess the potential for contamination to exist at the Site, as a result of historical and current Site activities; and
- Provide recommendations for further assessments, remediation and/or management, if required.

In order to meet the above objectives, Hazmat carried out the following scope of works:

- A review of Site topography, geology, hydrogeology and local groundwater usage;
- A Site history review, including a review of historical land titles, aerial photography, and records held by relevant regulatory authorities;
- A Site walkover; and
- Preparation of this PSI Report.

Based on the findings of this PSI, Hazmat concludes the following:

- The Site history review indicated that the majority of areas on the Site have historically been used as road corridors, rural-residential, or potentially historical farming practices. Other areas within the Site have historically remained vacant grassland or relic bushland;
- A number of AECs were identified, including fill of unknown origin, historical farming practices, dumping of potentially contaminated waste in bushland, and potentially contaminated surface water; and
- The risk of contamination for most of these AECs was considered to be low. The preliminary CSM identified potentially complete exposure pathways to human and ecological receptors should soil and surface water contamination exist. There is a higher risk of contaminated waste items being illegally dumped in the relic bushland between West Parade and Bridge Street.

Based on the Site history review and Site walkover, Hazmat considers that, while there is generally a low risk of contamination at the Site, there are a number of potentially complete exposure pathways, which could potentially impact upon the proposed development should contamination exist.

In addition, Hazmat's Site history review did identify a number of gaps in the Site history, relating to the presence of fill of unknown origin across the majority of the Site, unknown historical farming practices (if undertaken), and the unknown surface water quality of a dam situated on a property between Creek Street and Carlton Street. These gaps should be addressed prior to construction works.

Therefore, with respect to Site contamination, Hazmat recommends that a Detailed Site Investigation ("DSI") be undertaken prior to construction works commencing, targeting the AECs where exposure pathways are potentially complete. The DSI should include, but not be limited to:

- Investigation of the extent and nature of the illegally dumped waste in relic bushland at the southern end of the Denmark Road section of the Site, and between West Parade and Bridge Street. This will likely require clearing of vegetation.
- Collection of a surface water sample from the dam on Lot 10 Section W DP 712 to assess for water quality.
- Soil sampling across Lots 10 and 14 Section W DP 712, to assess possible contamination from potential historical farming practices.
- Sampling of the fill along Denmark Road, Carlton Street, Trevithick Street, West Parade and Bridge Street.

Should soils be proposed to be removed from the Site, Hazmat notes that a waste classification must be undertaken on those soils, in accordance with the NSW EPA (2014) *Waste Classification Guidelines*. This may require sampling and laboratory testing of the soils.

Should material be proposed to be imported to the Site for construction purposes, Hazmat notes that the material must be classified as either Virgin Excavated Natural Material ("VENM"), or under a NSW EPA Recovered Resource Order, and must be accompanied by certification stating this classification.

Given the age of the structures of the properties surrounding the Site, should the demolition of structures be proposed as part of the construction works, Hazmat recommends that hazardous material surveys be undertaken on the structures. This should be undertaken by a suitably qualified hazardous materials consultant.

1 INTRODUCTION

1.1 General

This report presents the findings of a Stage 1 Preliminary Site Investigation ("PSI") undertaken by Hazmat Services Pty Ltd ("Hazmat") for the proposed Denmark Link Road project at Riverstone, NSW.

The PSI was commissioned by Hills Environmental Pty Ltd ("Hills Environmental") (the "Client") in response to a Hazmat fee proposal (Hazmat Proposal Ref.: N3718_PRP_R0_210520).

Transport for NSW ("TfNSW") is proposing to construct the Denmark Link Road in Riverstone, NSW. The proposed road will provide a connection from Garfield Road West via Denmark Road to West Parade, which will be extended to the Westminster Street Bridge at Schofields, NSW.

The proposed construction will include:

- A two-lane local road;
- A new right-turn bay along Garfield Road;
- Improvements to the existing Denmark Road;
- A new link between Denmark Road and Carlton Street;
- A new intersection at Carlton Street; and
- Extension of West Parade to connect near the Westminster Street Bridge at Schofields.

For the purposes of this project, (the "Site") is defined as the extent of the proposed Denmark Link Road project, extending from Garfield Road West in Riverstone to the Westminster Street Bridge in Schofields. The Site location is shown on Figure 1: Site Location Plan, and the Site layout is shown on Figures 2 to 5: Site Layout Plans.

Hills Environmental has been engaged by TfNSW to prepare a Review of Environmental Factors ("REF") for the project. TfNSW has requested that a PSI be undertaken as part of the REF. Hills Environmental therefore engaged Hazmat to carry out the PSI at the Site.

This report has been prepared in accordance with the relevant sections of the following references:

- National Environment Protection Council ("NEPC") (2013) *National Environment Protection (Assessment of Site Contamination) Measure 1999 – 2013 Amendment* ("ASC NEPM, 2013"); and
- NSW Environment Protection Authority ("NSW EPA") (2020) *Contaminated Land Guidelines: Consultants Reporting on Contaminated Land* ("NSW EPA, 2020").

1.2 Objectives

The objectives of the PSI were to:

- Identify Areas of Environmental Concern ("AECs") and Chemicals of Potential Concern ("COPCs") for the Site, and develop a preliminary Conceptual Site Model ("CSM");
- Assess the potential for contamination to exist at the Site, as a result of historical and current Site activities; and
- Provide recommendations for further assessments, remediation and/or management, if required.

1.3 Scope of Works

In order to meet the above objectives, Hazmat carried out the following scope of works:

- A review of Site topography, geology, hydrogeology and local groundwater usage;
- A Site history review, including a review of historical land titles, aerial photography, and records held by relevant regulatory authorities;
- A Site walkover; and
- Preparation of this PSI Report.

2 SITE DESCRIPTION

2.1 Site Location and Identification

Site location and identification details are provided below in Table 1.

Table 1: Site Identification Details

Item	Description
Site Address	Denmark Road, Carlton Street, Trevithick Street and West Parade in Riverstone, and Bridge Street in Schofields. The Site location is shown on Figure 1
Approximate Site Area	12.5 hectares
Cadastre Detail	The Site occupies parts of numerous lots along Denmark Road, Carlton Street, West Parade and Bridge Street, including Lots 78 to 82 DP 1485, Lots 95 to 99 DP 1485, Lot 10 Section W DP 712, Lot 14 Section W DP 712, Lot 6 DP 523809 and Lot 1 DP 527115
Local Government Area	Blacktown City Council
Parish	Gidley
County	Cumberland
Current Zoning	RU4 Rural Holdings, E2 Environmental Conservation, and R2 Low Density Residential, under the Blacktown City Council Local Environmental Plan 2015
Previous Land Use	Review of historical aerial photography indicates that the Site historically comprised of roadways and rural-residential land
Current Land Use	The current land use consists of the current Denmark Road, Carlton Street, Trevithick Street, West Parade and Bridge Street, surrounded by rural-residential and low-density residential properties. The areas to the south of the current Denmark Road and between West Parade and Bridge Street are relic bushland
Proposed Land Use	Construction of the proposed Denmark Link Road, including upgrades to existing roads and construction of new roads
Surrounding Land Use	The areas surrounding the Site are used for a number of different purposes, including: <ul style="list-style-type: none"> • Residential areas of Riverstone and Schofields; • The Richmond Railway Line; • Relic bushland; and • Various roadways.
Site Co-ordinates	The Site extends from approximately 33°40'56"S, 150°51'23"E at the intersection of Denmark Road and Garfield Road West, to approximately 33°41'34"S, 150°52'05"E at the Westminster Street Bridge.

2.2 Site Topography and Drainage

Reference to the Riverstone topographic map (accessed through the Spatial Information Exchange) indicates that the Site is situated in an alluvial floodplain and on the west-facing downslopes of a small hill between the suburbs of Riverstone and Schofields. The topographic map indicates that the elevation of the Site ranges from between 15m to 20m Australian Height Datum ("AHD") between Denmark Road and West Parade in Riverstone, to between 20m and 30m AHD along West Parade (in Riverstone) and Bridge Street (in Schofields). There are some areas of lower elevation in between West Parade and Bridge Street.

During the Site walkover, the Site surface generally consisted of the following:

- The areas around Denmark Road and between Denmark Road and West Parade were generally flat, with no discernible slopes observed;
- West Parade consists of a number of undulating rises and falls;
- The relic bushland between West Parade and Bridge Street slopes down towards an unnamed drainage channel in the middle of the relic bushland area; and
- Bridge Street slopes up to the south towards the Westminster Street Bridge in Schofields.

Surface water generated during heavy rainfall events is anticipated to either accumulate in pools on the Site, infiltrate through the ground surface (where unpaved), or flow via several drainage channels and stormwater drains towards Eastern Creek. Eastern Creek is situated approximately 300m to the west and south-west of Denmark Road, approximately 200m west of West Parade, and approximately 250m west and north-west of Bridge Street.

2.3 Regional Geology and Soils

Reference to the Sydney 1:250,000 Geological Map indicates that the Site is underlain by the following:

- Triassic-aged Bringelly Shale, Minchinbury Sandstone and Ashfield Shale, comprising shale with sandstone beds; and
- Quaternary Alluvium deposits, comprising gravels, sands, silts and clays associated with the Eastern Creek floodplain.

2.4 Regional Hydrogeology and Local Groundwater Usage

Groundwater beneath the Site is anticipated to be present in an unconfined aquifer within alluvial or residual sands and clays at depths greater than 5m below ground surface ("bgs").

Groundwater beneath the Site is anticipated to flow generally to the west and south-west and discharge to Eastern Creek, located approximately 200m to 300m west / south-west of the Site.

A search for registered groundwater bores within a 500m radius around the Site was conducted as part of this PSI. The search was conducted on the NSW Department of Primary Industries – Office of Water. The search identified five registered groundwater bores within 500m of the Site. Details of the search are provided below in Table 2, and the results of the search are included in Appendix A: Groundwater Bore Search.

Table 2: Summary of Registered Groundwater Bores

Bore ID	Licence No	Purpose	Completion date	Final Depth	Standing Water Level (m bgs)
GW112289	Not known	Monitoring Bore	19/11/2009	10.00m bgs	Not known
GW112290	Not known	Monitoring Bore	19/11/2009	10.00m bgs	Not known
GW114761	Not known	Monitoring Bore	19/11/2010	11.80m bgs	Not known
GW114762	Not known	Monitoring Bore	19/11/2010	11.80m bgs	9.400
GW114763	Not known	Monitoring Bore	19/11/2010	11.80m bgs	9.800

GW112289 and GW112290 are considered to be located downgradient of the Site.

2.5 Acid Sulfate Soils

Reference to the NSW Department of Land and Water Conservation (1997) Acid Sulfate Soil ("ASS") Risk Map for Springwood / Riverstone indicates that the Site is situated in an area of no known ASS occurrence.

2.6 Site Observations

A Site walkover was undertaken on the 19th of July 2020 by Hazmat's Damien Hendrickx, Senior Environmental Scientist. Selected Site photographs are attached in the Photographs section, and Site features are included in Figures 2 to 5: Site Layout Plans.

For reporting purposes, the Site has been divided into the following sections:

- Section 1: Denmark Road;
- Section 2: Between Denmark Road and West Parade;
- Section 3: West Parade, from Trevithick Street to relic bushland between West Parade and Bridge Street; and
- Section 4: Bridge Street, from relic bushland between West Parade and Bridge Street to the Westminster Street Bridge.

The Site features observed in each of the above sections are summarised in the sections below.

2.6.1 Section 1 – Denmark Road

- The Denmark Road section is an approximate 600m long section from the intersection of Denmark Road and Garfield Road West (in Riverstone) to an area of relic bushland, running in a general north-south direction.
- This section also includes an approximate 350m long section of Garfield Road West.
- The Garfield Road West section consists of an existing two-lane paved road, bordered by residential properties, a horse track and vacant grassland. There were no kerbs or gutters observed. The road pavement appeared to be in good condition, with no significant cracks or potholing evident.
- Approximately the northernmost 250m of Denmark Road consists of an existing two-lane paved road, bordered by rural-residential properties. There were no kerbs or gutters observed. The road pavement was observed to be in a fair condition, with some minor cracking and potholing evident.
- The remaining extent of the current Denmark Road consists of an approximate 120m long unpaved road, bordered by rural-residential properties to the south of the paved section of Denmark Road. There was no evidence of oil staining on this section of Denmark Road.
- The southernmost extent of this section consists of the rear areas of existing rural-residential properties and relic bushland. Some dumped household waste (plastic objects) was evident in the bushland. There was no evidence of potential Asbestos Containing Materials ("ACM") in the dumped waste.

2.6.2 Section 2 – Between Denmark Road and West Parade

- The westernmost part of this section is approximately 110m long, running west to east through relic bushland, from the Denmark Road section (Section 1 in this report) to Creek Street).
- A portion of this section is owned by the NSW Department of Planning, Industry and Environment, though no activities appeared to have been undertaken on this portion.
- Some dumped household waste (plastic items) was evident in the bushland. There was no evidence of potential ACM in the dumped waste.
- A disused demountable building was present to the south-east of this section.
- The middle part of this section is an approximate 200m long portion, through two lots (Lots 10 and 14, Section W, DP 712), which forms one rural-residential property.
- Access to Lots 10 and 14 was not provided during the Site walkover, however a dam was visible from the southern boundary of Lot 10. The dam appeared to be full at the time of the walkover.
- A residential dwelling was situated on Lot 14, with some landscaped areas around the dwelling.
- The easternmost portion of this section consists of an approximate 230m stretch of existing road along Carlton Street (a partially paved two-lane road) and the entire length (approximately 110m) of Trevithick Street. There were no kerbs or gutters observed. The pavements on both of these roads appeared to be in fair condition, with some minor cracking and potholing observed. This portion is bordered by rural-residential properties.

2.6.3 Section 3 – West Parade from Trevithick Street to Relic Bushland

- This section runs in an approximate north to south direction along West Parade, from Trevithick Street at the northern end to relic bushland at the southern end.
- The approximate length of this section is 550m.
- The portion of this section occupied by West Parade consists of a two-lane paved road in good condition, bordered primarily by residential properties to the west, and the existing Richmond railway line to the east.
- Two commercial properties (a pet food supply business and a truck parking property) are also located off West Parade.
- The southern end of this section consists of relic bushland with a number of access tracks cut into the bushland. The bushland was overgrown with weeds and native bush at the time of the inspection.
- A lot of dumped waste (including plastic, metal and wooden items) was observed in the bushland, including suspected ACM fragments (though not within the Site boundaries).
- A number of drainage channels were observed in this section, along West Parade and in the middle of the relic bushland area. Stagnant water was observed in each of the drainage channels identified.

2.6.4 Section 4 – Bridge Street from Relic Bushland to Westminster Street Bridge

- This section consists of relic bushland and a farm in the northernmost portion, vacant grassland in the middle portion and Bridge Street in the southernmost portion.
- The approximate length of this section is 500m.
- The relic bushland in the northernmost portion was overgrown with weeds and native bush at the time of the walkover, except for an access track leading to a drainage channel. Stagnant water was observed in this drainage channel. There was no evidence of illegal dumping of waste in the bushland, though the ground surface was mainly obscured due to the thick vegetation.
- A farm is located in the northernmost portion of this section, within the relic bushland area. At the time of the walkover, a brick shed was present on area of the farm that is within the Site boundaries.
- The vacant grassed area in the middle portion of this section. The grass was overgrown in several areas, and there was an access track connecting Bridge Street to the south) and the relic bushland area (to the north). An overhead electrical easement was also located in this area.
- Bridge Street (in Schofields) occupies the southernmost portion of this Section, and consists of an existing paved two-lane road, bordered by residential properties to the west and the Richmond railway line to the east. Kerbs and gutters were observed along Bridge Street. The road pavement appeared to be in good condition.
- The southern end of this section (which is the southern end of the Site) consists of the Westminster Street Bridge. This bridge is a paved two-lane bridge spanning the existing Richmond railway line, connecting Bridge Street to Railway Terrace.

3 SUMMARY OF PREVIOUS ASSESSMENTS AND REPORTS

3.1 EI Australia (2017) Preliminary Site Investigation

EI Australia Pty Ltd ("EI") was engaged by Stantec (Australia) Pty Ltd in 2017 to carry out a PSI at the Site (EI Report Ref.: E23369.E01_Rev0 dated the 29th of September 2017). Hills Environmental supplied Hazmat with a copy of this report as part of the PSI.

The objectives of the PSI were to:

- Evaluate the potential for Site contamination on the basis of historical land uses, anecdotal, and documentary evidence of possible pollutant sources;
- Investigate the degree of potential soil contamination in areas where potentially contaminating activities may have occurred, by means of limited intrusive sampling and laboratory analysis; and
- Where Site contamination is confirmed, make recommendations for the appropriate management of contaminated soils and/or groundwater.

In order to meet the above objectives, EI carried out the following works:

- A Site history review;
- A Site walkover;
- A soil sampling program, involving the drilling of nine boreholes and the excavation of nine test pits;
- Laboratory analysis of selected samples for potential COPCs, including heavy metals, hydrocarbons, pesticides and asbestos; and
- Preparation of a PSI report.

The results of the laboratory analytical program undertaken indicated that concentrations of COPCs were recorded below the adopted assessment criteria in each of the samples analysed.

Based on the findings of the PSI, EI concluded that the Site was unlikely to be subject to widespread contamination and therefore was likely to be suitable for the proposed use as a roadway.

EI did note that the historical use of land for private garden and roadway construction areas indicated a potential for impacts associated with the use of pesticides and hydrocarbons. In order to confirm the suitability of the Site for the proposed land use, EI recommended the following:

- A detailed investigation of the Site, including soil sampling;
- Testing of soils to confirm the presence or absence of ASS;
- Provision of a waste classification assessment for materials proposed to be removed from the Site, to assess off-site disposal options; and
- Preparation of an unexpected finds protocol to address unknown or unexpected contamination that may be identified during the proposed works.

3.2 EI Australia (2017) Remediation Action Plan

EI was engaged by Stantec (Australia) Pty Ltd in 2017 to prepare a Remediation Action Plan ("RAP") for the Site (EI Report Ref.: E23369.E06.Rev0 dated 2nd of November 2017). Hills Environmental supplied Hazmat with a copy of the RAP as part of the PSI.

The EI (2017) RAP was based on the findings of the PSI prepared by EI in 2017.

The objective of the RAP was to inform and guide the Site remediation and validation process.

The remediation strategy provided by EI involved:

- Site preparation – including Site security, sediment controls, project preliminaries and notification requirements;
- Undertaking additional investigations – including borehole drilling, soil sampling, and laboratory analysis of COPC's;
- The handling and management of excavated soils for offsite disposal – including sampling for waste classification purposes (if required);
- Validation of imported soils (if required) – including verification that the imported soils have been certified as Virgin Excavated Natural Material; and
- Preparation of a Validation Report.

The RAP also included procedure for Site management, including dust, stormwater, odour, noise and vibration management. In addition, the RAP included an Unexpected Finds Protocol to be implemented in the event unexpected finds are uncovered.

4 SITE HISTORY REVIEW

4.1 Information Sources

A review of the Site history was carried out as part of the PSI, which included a review of the following sources:

- A historical land titles search for three properties encompassing, or located adjacent to, the Site (Lot 5 DP 523809, Lot 10 Section W DP 712 and Lot 1 DP 135870);
- Aerial photography for the Site from the 1950's onwards;
- The Section 10.7 (formerly Section 149) Planning Certificates for three properties encompassing, or located adjacent to, the Site (Lot 5 DP 523809, Lot 10 Section W DP 712 and Lot 1 DP 135870); and
- The NSW EPA register of contaminated sites.

The findings of the Site history review are provided in the sections below.

4.2 Historical Titles Search

A search of historical titles for three lots (Lot 5 DP 523809, Lot 10 Section W DP 712 and Lot 1 DP 135870) either encompassing or located adjacent to the Site was carried out by Infotrack Pty Ltd. A copy of the search results is provided in Appendix B: Historical Titles Search, and summarised below in Table 3.

Table 3: Historical Titles Search Details

Title Identifier	Year	Proprietor
Lot 1 DP 135870	1968 – to date	Council of the Municipality of Blacktown
	1964 – 1968	Reinhard Schromm
	1917 – 1964	Ludovic Blackwood
Lot 5 DP 523809	1978 – to date	Joe Sultana Gracie Sultana
	1972 – 1978	Neville Keith Dawson
	1959 – 1972	Lawrence William Dawson
	1954 – 1959	Allan Charles Moore
	1933 – 1954	William George Witts
	Pre 1933	Carlton Street
Lot 10 Section W DP 712	2017 – to date	Min Zhang
	1999 – 2017	Wu Da Qi Zhang Min
	1994 – 1999	Double China Trading Company Pty Ltd
	1991 – 1994	Slavko Rabik
	1951 – 1991	John Rabik
	1951 – 1951	Doris Annie Mangold
	1950 – 1951	George William Charles Mangold
	1944 – 1950	Francis Albert Rosa Bernard Mace Rosa
	1927 – 1944	Francis Woldo Rosa
1911 – 1927	Charlotte Elizabeth Rosa	

The review of the historical land titles indicates that these three properties have primarily been held by private landholders. There has been one commercial landholder, and Lot 1 is currently owned by the Municipality of Blacktown. The current landholders have owned the properties since at least 2017.

4.3 Aerial Photograph Review

Aerial photography for the Site dating back to the 1950's was obtained by Lotsearch Pty Ltd and provided to Hazmat for review. The Lotsearch aerial photography report is provided in Appendix C: Aerial Photograph Report and the review of selected aerial photographs is presented below in Table 4.

Table 4: Aerial Photograph Review

Year of Photograph	Site Land Use Observations	Surrounding Land Use Observations
1955 (black and white)	<p>Garfield Road West, Denmark Road, Carlton Street and West Parade appear to have been created (though some appear to be unpaved tracks). Bridge Street does not appear to have been constructed yet.</p> <p>The remaining areas of the Site appear to be vacant grassland, rural-residential properties or farmland.</p>	<p>The areas surrounding the Site appear to be primarily vacant grassland, rural-residential properties and farmland.</p> <p>Most of the present-day road layout appears to have been constructed, though some roads appear to be unpaved tracks.</p> <p>The Richmond railway line appears to have been constructed.</p>
1965 (black and white)	<p>The majority of the road layouts currently comprising the Site appear to be unchanged from 1955.</p> <p>Bridge Street still does not appear to have been constructed, though some land clearing appears to have been undertaken in this area.</p> <p>The remaining areas of the Site appear to still be primarily vacant grassland, rural-residential properties or farmland.</p>	<p>Some additional rural-residential properties appear to have been constructed since 1955, particularly along Denmark Road.</p> <p>A large oval appears to have been constructed to the east of Denmark Road.</p> <p>Surrounding road layouts appear to resemble the present-day layouts.</p>
1978 (black and white)	<p>The road layouts and other areas comprising the Site appear to be similar to 1965.</p>	<p>The areas surrounding the Site appear to be similar to 1965. There appears to have been some rural-residential properties constructed since 1965, particularly along West Parade.</p> <p>A horse track appears to have been constructed to the west of Denmark Road.</p> <p>Surrounding road layouts appears to be similar to 1965.</p>
1986 (colour)	<p>The road layouts and other areas comprising the Site appear to be similar to 1978. The majority of the roads appear to be paved.</p>	<p>The majority of the areas surrounding the Site appear to still be rural-residential properties, vacant grassland or farmland. A large property, possibly used for farming, appears to be located between Carlton Street and West Parade.</p> <p>A circular track appears to have been constructed at the location of present-day Bridge Street.</p> <p>A large disturbed property, possibly a quarry, appears to be present to the south / south-west of the Site, on the other side of Eastern Creek.</p>

Year of Photograph	Site Land Use Observations	Surrounding Land Use Observations
1994 (colour)	The road layouts and other areas comprising the Site appear to be similar to 1986.	The areas surrounding the Site appear to be similar to 1986.
2009 (colour)	The road layouts and other areas comprising the Site appear to be mostly similar to 1994. There appears to be denser bushland between West Parade and the area currently occupied by Bridge Street. An unpaved track appears to be located at the location of present-day Bridge Street.	The majority of the areas surrounding the Site appear to still be rural-residential properties, vacant grassland or farmland. A dam appears to have been constructed on the property between Carlton Street and Creek Street, adjacent to the Site. There appears to be thicker vegetation along Eastern Creek to the south and south-west of the Site. Road layouts surrounding the Site appear unchanged from 1994.
2020 (colour)	The Site appears to resemble the present-day layout. Bridge Street appears to have been constructed.	The areas surrounding the Site appear to resemble the present-day layout. More residential properties appear to have been developed around the Riverstone area. Residential properties adjacent to Bridge Street in Schofields appear to have been constructed. Road layouts surrounding the Site appear to resemble present-day layouts.

4.4 Section 10.7 Planning Certificates

The Section 10.7 (formerly Section 149) Planning Certificates for three properties encompassing, or adjacent to, the Site were obtained from Blacktown City Council ("Council"). Copies of the planning certificates are included in Appendix D: Section 10.7 Planning Certificates.

The information provided in the planning certificates is summarised below in Table 5.

Table 5: Section 10.7 Planning Certificate Details

Title Identifier	Land Zoning	Conservation Areas	Environmental Heritage Items	Acid Sulfate Soils	Potentially Contaminated Land	Contamination Issues*
Lot 5 DP 523809	RU4 Primary Production Small Lots	No	No	No	No	No
Lot 10 Section W DP 712	RU4 Primary Production Small Lots	No	No	No	No	No
Lot 1 DP 135870	RU4 Primary Production Small Lots	No	No	No	No	No

*Refers to significantly contaminated land, management orders or proposals, maintenance orders or site audit statements under the Contaminated Land Management Act 1997.

Council has implemented a Contaminated Land Policy, stipulated in the Blacktown Development Control Plan ("DCP") 2015. This policy applies to land that is identified as potentially contaminated, through past or current site activities.

The DCP outlines that contaminated site investigations should be undertaken in accordance with the ASC NEPM (2013); namely, a preliminary site investigation, followed by a detailed site investigation, followed by a Remedial Action Plan (as required).

4.5 NSW EPA Records

A search of the NSW EPA Contaminated Land Register was undertaken for properties within the Blacktown Local Government Area listed as having contamination notices.

A copy of the search is provided in Appendix E: NSW EPA Records. The search identified the following properties as having notices:

- The former Dow Corning Factory at 21 Tattersall Road, King Park (six former notices); and
- The former Australian Waste Oil Refineries site at 27 Powers Road, Seven Hills (five former notices).

These properties are not located within close proximity to the Site.

4.6 Summary of Site History

Based on the Site history review, the Site history is summarised below:

- The majority of the present-day road layouts comprising the Site appear to have been constructed prior to 1955, though some may have been unpaved access tracks for several decades before being paved;
- The areas of the Site not comprised by roadways appear to have remained vacant grassland, rural-residential properties, or farmland, since the 1950's;
- The Richmond railway line along West Parade and Bridge Street appears to have been constructed prior to 1955;
- Bridge Street in Schofields appears to have been constructed since 2009;
- The historical land titles search indicates that the majority of properties encompassing, or surrounding, the Site have been owned by private landholders since the early 1900's. Some commercial enterprises may have owned some of these properties during this time;
- The Section 10.7 Certificates obtained for three properties located within, or adjacent to, the Site indicates that there are no known contamination issues associated with those properties; and
- A review of the NSW EPA records indicates there are no properties located within close proximity to the Site listed as having contamination notices.

4.7 Gaps in the Site History

The Site history review revealed the following gaps in the Site history:

- A review of aerial photography appears to indicate some land clearing in the 1960's in the area currently occupied by Bridge Street. The purpose of this land clearing is unknown;
- A review of aerial photography indicates that several properties surrounding the Site may have historically been used for agricultural purposes. It is not known what farming practices may have historically been undertaken;
- Given the majority of the Site comprises existing roadways, it is likely that fill of unknown origin has been imported to construct the roadways; and

- A dam appears to have been constructed on the properties between Denmark Road and Carlton Street, adjacent to the proposed road layout in this area. The water quality of this dam is not known.

5 PRELIMINARY CONCEPTUAL SITE MODEL

Based on the Site history review and Site walkover, a preliminary CSM has been prepared. The preliminary CSM is discussed in the sections below.

5.1 Potential Areas and Chemicals of Environmental Concern

Table 6 (below) summarises the potential AECs and associated COPCs for the Site. For reporting purposes, the Site has been divided into the following sections:

- Section 1: Denmark Road;
- Section 2: Between Denmark Road and West Parade;
- Section 3: West Parade, from Trevithick Street to relic bushland between West Parade and Bridge Street; and
- Section 4: Bridge Street, from relic bushland between West Parade and Bridge Street to the Westminster Street Bridge.

Table 6: Potential AECs and COPCs

Area	AEC	Potential Contaminating Activity	CoCs#	Risk of Contamination*
1	Garfield Road West, Denmark Road and surrounds	Importation of fill of unknown origin	Heavy metals, TRH, BTEX, PAH, OCP, PCB, asbestos	Low
	Bushland areas	Dumping of potentially contaminated household waste (e.g. ACM)	Asbestos	Low
2	Carlton Street, Trevithick Street and surrounds	Importation of fill of unknown origin	Heavy metals, TRH, BTEX, PAH, OCP, PCB, asbestos	Low
	Bushland areas	Dumping of potentially contaminated household waste	Asbestos	Low
	Lots 10 & 14 Section W DP 712	Historical farming practices	Heavy metals, PAH, OCP, OPP, herbicides	Low
Potentially contaminated surface water in dam		Heavy metals, PAH, OCP, OPP, herbicides, nutrients, cations, anions	Low	
3	West Parade and surrounds	Importation of fill of unknown origin	Heavy metals, TRH, BTEX, PAH, OCP, PCB, asbestos	Low
	Bushland areas	Dumping of potentially contaminated household waste	Asbestos	Medium to High
	Drainage channels	Potentially contaminated surface water in drainage channels	Heavy metals, TRH, BTEX, PAH, OCP, PCB, nutrients, cations, anions	Low
4	Bridge Street and surrounds	Importation of fill of unknown origin	Heavy metals, TRH, BTEX, PAH, OCP, PCB, asbestos	Low
	Bushland areas	Dumping of potentially contaminated household waste	Asbestos	Low
	Lot 1 DP 527115	Historical farming practices	Heavy metals, PAH, OCP, OPP, herbicides	Low

NOTES:

*It is important to note the risk of contamination provided is based on the qualitative risk of the contamination identified and does not represent the financial risk of the contamination.

#Heavy metals = arsenic, cadmium, chromium, copper, lead, mercury, nickel and zinc; TRH = Total Recoverable Hydrocarbons; BTEX = Benzene, Toluene, Ethylbenzene and Xylenes; PAH = Polycyclic Aromatic Hydrocarbons; OCP = Organochlorine Pesticides; PCB = Polychlorinated Biphenyls; OPP = Organophosphorus Pesticides

5.2 Potential Sources, Pathways and Receptors of Contamination

The potential sources, pathways and receptors of contamination are provided below in Table 7.

Table 7: Potential Sources, Pathways and Receptors of Contamination

Source	Pathway	Receptor	Comment
Potentially Contaminated Fill	Ingestion and dermal contact	Current and future Site users	There is potential for Site users to come into contact with contaminated fill, therefore a complete pathway potentially exists.
	Inhalation of dust and vapours	Current and future Site users and surrounding Site users	There is potential for Site users and surrounding land users to be exposed to dust and vapours from the Site, therefore a complete pathway potentially exists.
	Leaching of contaminants into shallow soils	Soil biota, native plants and transitory wildlife across the Site	There is potential for surface and shallow soils to be present which may be impacted by contaminating activities, therefore a complete pathway potentially exists to ecological receptors.
	Leaching of contaminants into groundwater	Groundwater beneath the Site and Eastern Creek	Given that contaminated soils, if present, are likely to be in surface or shallow soils, and the groundwater beneath the Site is anticipated to at depths greater than 5m bgs, a potentially complete pathway is not considered to exist.
	Surface water runoff	Drainage channels and Eastern Creek	Given that a number of drainage channels intersect the Site, and Eastern Creek is approximately 200m to 300m distant, there is potential for contaminated surface water runoff to enter these waterbodies. Therefore, a potentially complete pathway is considered to exist.
Potentially Contaminated Household Waste	Ingestion and dermal contact	Current and future Site users	There is potential for Site users to come into contact with contaminated waste, therefore a complete pathway potentially exists.
	Inhalation of dust and vapours	Current and future Site users and surrounding Site users	There is potential for Site users and surrounding land users to be exposed to dust and vapours due to the presence of dumped waste on the Site, therefore a complete pathway potentially exists.
Historical Farming Practices	Ingestion and dermal contact	Current and future Site users	There is potential for Site users to come into contact with soils contaminated from historical farming practices, therefore a complete pathway potentially exists.
	Inhalation of dust and vapours	Current and future Site users and surrounding Site users	There is potential for Site users and surrounding land users to be exposed to dust and vapours from historical farms, therefore a complete pathway potentially exists.
	Leaching of contaminants into ground surface	Soil biota, native plants and transitory wildlife across the Site	There is potential for surface and shallow soils to be present which may be impacted by historical farming activities, therefore a complete pathway potentially exists to ecological receptors.
	Leaching of contaminants into groundwater	Groundwater beneath the Site and Eastern Creek	Given that contaminated soils, if present, are likely to be in surface or shallow soils, and the groundwater beneath the Site is anticipated to at depths greater than 5m bgs, a potentially complete pathway is not considered to exist.
	Surface water runoff	Dams	Given that one dam is present on a possible historical farm within the Site boundaries, there is potential for the water in this dam to be impacted. Therefore, a potentially complete pathway is considered to exist.

6 CONCLUSION AND RECOMMENDATIONS

Based on the findings of this PSI, Hazmat concludes the following:

- The Site history review indicated that the majority of areas on the Site have historically been used as road corridors, rural-residential, or potentially historical farming practices. Other areas within the Site have historically remained vacant grassland or relic bushland;
- A number of AECs were identified, including fill of unknown origin, historical farming practices, dumping of potentially contaminated waste in bushland, and potentially contaminated surface water; and
- The risk of contamination for most of these AECs was considered to be low. The preliminary CSM identified potentially complete exposure pathways to human and ecological receptors should soil and surface water contamination exist. There is a higher risk of contaminated waste items being illegally dumped in the relic bushland between West Parade and Bridge Street.

Based on the Site history review and Site walkover, Hazmat considers that, while there is generally a low risk of contamination at the Site, there are a number of potentially complete exposure pathways, which could potentially impact upon the proposed development should contamination exist.

In addition, Hazmat's Site history review did identify a number of gaps in the Site history, relating to the presence of fill of unknown origin across the majority of the Site, unknown historical farming practices (if undertaken), and the unknown surface water quality of a dam situated on a property between Creek Street and Carlton Street. These gaps should be addressed prior to construction works.

Therefore, with respect to Site contamination, Hazmat recommends that a Detailed Site Investigation ("DSI") be undertaken prior to construction works commencing, targeting the AECs where exposure pathways are potentially complete. The DSI should include, but not be limited to:

- Investigation of the extent and nature of the illegally dumped waste in relic bushland at the southern end of the Denmark Road section of the Site, and between West Parade and Bridge Street. This will likely require clearing of vegetation.
- Collection of a surface water sample from the dam on Lot 10 Section W DP 712 to assess for water quality.
- Soil sampling across Lots 10 and 14 Section W DP 712, to assess possible contamination from potential historical farming practices.
- Sampling of the fill along Denmark Road, Carlton Street, Trevithick Street, West Parade and Bridge Street.

Should soils be proposed to be removed from the Site, Hazmat notes that a waste classification must be undertaken on those soils, in accordance with the NSW EPA (2014) *Waste Classification Guidelines*. This may require sampling and laboratory testing of the soils.

Should material be proposed to be imported to the Site for construction purposes, Hazmat notes that the material must be classified as either Virgin Excavated Natural Material ("VENM"), or under a NSW EPA Recovered Resource Order, and must be accompanied by certification stating this classification.

Given the age of the structures of the properties surrounding the Site, should the demolition of structures be proposed as part of the construction works, Hazmat recommends that hazardous material surveys be undertaken on the structures. This should be undertaken by a suitably qualified hazardous materials consultant.

7 LIMITATIONS

7.1 Overview

Contaminated site investigations are generally designed based on a number of factors:

- 1) Objective and scope of works;
- 2) State and national guidelines;
- 3) Accessibility/ site restrictions;
- 4) Visual and Olfactory observations;
- 5) Historical land use; and
- 6) Proposed land use.

Investigation designs can also be influenced by the following factors:

- Stage of a development process;
- Purpose of the investigation (due diligence, environmental compliance etc.);
- Available budget;
- Client's risk management strategy; and
- Available timescale.

Although the investigation is designed to identify and/or delineate potential contamination there are a number of uncertainties that can result in additional investigative work, increased remedial work and costs, re-development delays and changes in land values. These uncertainties are an inherent part of dealing with land contamination. This section is designed to outline some of the uncertainties and limitations that are generally encountered.

7.2 Document Preparation

Hazmat has prepared this report for the purpose set out in Section 1 and as agreed to by the Client. Hazmat cannot be held responsible to the Client and/or others for any matters outside the agreed scope of services. Any advice, opinions or recommendations are considered current to the date of this document.

No warranties or guarantees are expressed or should be inferred by any third parties. This document may not be relied upon by other parties without written consent from Hazmat. Where consent is provided, other parties should review the scope of service, objectives and limitation to determine if the document is appropriate for their requirements. They should make their own enquiries and obtain independent advice to determine the accuracy and appropriateness of this report for their use and interpretation.

It should be understood that where this document has been developed for a specific purpose, for example a due diligence document for a property vendor, it may not be suitable for other purposes such as satisfying the needs of a purchaser or assessing contamination risks for classifying the site.

7.3 Scope of Services

For each scope of services, a specific approach to the assessment is developed. The scope is usually driven by key objectives set by the client's needs and refined based on the project/site specific requirements.

Any data, evaluations, discussions, conclusions and/or options presented have been designed, obtained and presented based on the Scope of services. Should the instructions provided be inaccurate, insufficient or incomplete the document outcomes could change. The scope of services may also be limited by factors such as time, budget, access, site constraints and/or reliance third party data and information made available to Hazmat.

7.4 Reliance on Data

This document has been prepared by Hazmat with all reasonable skill, care and diligence, and taking account of the timescale and resources allocated to it by agreement with the Client. Information documented herein is based on the interpretation of data collected (data, surveys, analyses, designs, plans and other information), which has been accepted in good faith as being accurate and valid at the time of writing the document.

It should be noted that many investigations are based upon an assessment of potentially contaminating processes which may have occurred historically on the site. This assessment is based upon historical records associated with the site. Such records may be inaccurate, absent or contradictory. In addition, documents may exist which are not readily available for public viewing.

Except where it has been stated in this document, Hazmat has not verified the accuracy or completeness of the data relied upon. Statements, opinions, facts, information, conclusions and/or recommendations made in this document ("conclusions") are based in whole or part on the data obtained, those conclusions are contingent upon the accuracy and completeness of the data. Hazmat cannot be held liable should any data, information or condition be incorrect or have been concealed, withheld, misrepresented or otherwise not fully disclosed to Hazmat leading to incorrect conclusions.

7.5 Report Separation

This report has been prepared using all the data provided (within the report and within its appendices/attachments. Any reliance upon this report should assess and review the report in its entirety. The executive summary, individual sections and/or appendices/attachments should not be cut out and/or removed from the report and used independently.

Report logs, figures, laboratory data, drawings, etc. are generated for this report by Hazmat consultants (unless otherwise stated) based on their individual interpretation of the site conditions at the time the site visit was undertaken. Although Hazmat consultants undergo training to achieve a standard of field reporting, individual interpretation still varies slightly. Information should not under any circumstances be redrawn for inclusion in other documents or separated from this report in any way.

7.6 Environmental Conclusions

In accordance with the scope of services, Hazmat may have conducted environmental field monitoring and/or testing in the preparation of this report. The nature and extent of monitoring and/or testing conducted is described in the report.

Hazmat has utilised state and national guidelines, Australian Standards, professional judgement and a degree of skill and care to develop Standard Operating Procedures ("SOP"), which are considered to be in line with industry best practice. Any monitoring, testing, sampling and report preparation has been undertaken in accordance with Hazmat's SOP and performed in a professional manner.

All sites have varying degrees of heterogeneity in the vertical and lateral soil and groundwater horizons. No monitoring, common testing or sampling techniques can eliminate the possibility that monitoring or testing results/samples are not totally representative of soil and/or groundwater conditions encountered.

The sampling results obtained are therefore representative of the conditions at the point at which the sample was taken. Additional data derived from indirect field measurements and sometimes other reports may also be used in the interpretation of environmental conditions. However, the environmental field monitoring and/or testing are merely indicative of the environmental conditions of the site at the time samples were taken. Any evaluations, discussions and conclusions are based on the data results presented. No liability can be accepted for changes in ground conditions in between exploratory locations (bore holes/test pits etc.). It should also be recognised that site conditions, including the extent and concentration of contaminants, can change with time.

7.7 Other Limitations

Hazmat's interpretations are based upon its professional judgement, experience, and training. These opinions are also based upon data derived from testing and analysis described in this document. Hazmat believes that its opinions, options, conclusions and/or recommendations are reasonably supported by the testing and analysis that have been done, and that those opinions have been developed according to the professional standard of care for the environment consulting profession in this area at this time. That standard of care may change and new methods and practices of exploration, testing, analysis and remediation may develop in the future, which might produce different results. Hazmat's professional opinions contained in this document may be subject to modification if additional information is obtained, through further investigation, observations, or validation testing and analysis during remedial activities.

Should events or emergent circumstances or facts become apparent after the submissions date of the report, Hazmat cannot be held liable to update or reverse the report to take this into account.

8 REFERENCES

- Blacktown City Council (2020) Planning Certificate under Section 10.7 – Lot 5 DP 523809, Lot 10 Section W DP 712 and Lot 1 DP 135870, References PL2020/08536, PL2020/08537 and PL2020/08538, dated 6th of July 2020.
- Geological Survey of NSW (1966) Sydney 1:250,000 Geological Map, Sheet SI 56-5, Third Edition.
- Infotrack Pty Ltd (2020) Land Titles Search – Lot 5 DP 523809, Lot 10 Section W DP 712 and Lot 1 DP 135870, dated 14th of July 2020.
- Lotsearch Pty Ltd (2020) Aerial Photography Report, Reference LS013353 EA, dated 8th of July 2020.
- NEPC (2013) National Environment Protection (Assessment of Site Contamination) Measure 1999 (2013 Amendment).
- NSW Department of Land and Water Conservation (1997) Springwood-Riverstone Acid Sulfate Soil Risk Map, Edition 2.
- NSW Department of Primary Industries (2020) Groundwater Bore Search – Riverstone, accessed from <https://realtimedata.watersw.com.au/water.stm>.
- NSW EPA (2020) Contaminated Land Guidelines: Consultants Reporting on Contaminated Land.
- NSW EPA (2019) Contaminated Site Register – Blacktown Local Government Area, accessed from <https://apps.epa.nsw.gov.au/prclmapp/searchregister.aspx>.
- NSW EPA (2014) Waste Classification Guidelines.
- Spatial information Exchange (2019) Topographic map of Riverstone, accessed from <https://maps.six.nsw.gov.au/>.



FIGURES



Source: Nearmap, 2020

LEGEND

 Approximate Extent of Site



**HAZMAT
SERVICES**

OHS | WASTE | ENVIRONMENT

Title: Site Location Plan – Denmark Link Road, Riverstone NSW	
Figure: 1	Project No: N3718
Date: 26/07/2020	Revision: 0

Garfield Road West

Lot 1 DP 135870



Denmark Road



Relic Bushland (dumped general waste)

Source: Nearmap, 2020

LEGEND

 Site Boundary



**HAZMAT
SERVICES**

OHS | WASTE | ENVIRONMENT

Title: Site Layout Plan – Section 1: Denmark Road,
Denmark Link Road, Riverstone NSW

Figure: 2

Project No: N3718

Date: 26/07/2020

Revision: 0



LEGEND

 Site Boundary



OHS | WASTE | ENVIRONMENT

Title: Site Layout Plan – Section 2: Between Denmark Road and West Parade, Denmark Link Road, Riverstone NSW	
Figure: 3	Project No: N3718
Date: 26/07/2020	Revision: 0

Trevithick Street

West Parade



Carlton Street

Drain

Richmond
Railway
Line

Lot 5 DP 523809

Relic
Bushland
(dumped
general
waste)

Drain

Suspected Dumped
Asbestos Fragments

Source: Nearmap, 2020

LEGEND

 Site Boundary



**HAZMAT
SERVICES**

OHS | WASTE | ENVIRONMENT

Title: Site Layout Plan – Section 3: West Parade,
Denmark Link Road, Riverstone NSW

Figure: 4

Project No: N3718

Date: 26/07/2020

Revision: 0

Relic Bushland

Farm

Richmond Railway Line



Vacant Grassland and
Electrical Easement

Bridge Street

Westminster Street Bridge

Source: Nearmap, 2020

LEGEND



Site Boundary



**HAZMAT
SERVICES**

OHS | WASTE | ENVIRONMENT

Title: Site Layout Plan – Section 4: Bridge Street,
Denmark Link Road, Riverstone NSW

Figure: 5

Project No: N3718

Date: 26/07/2020

Revision: 0



PHOTOGRAPHS



Photograph 1
Denmark Link Road, Riverstone NSW

19th July 2020

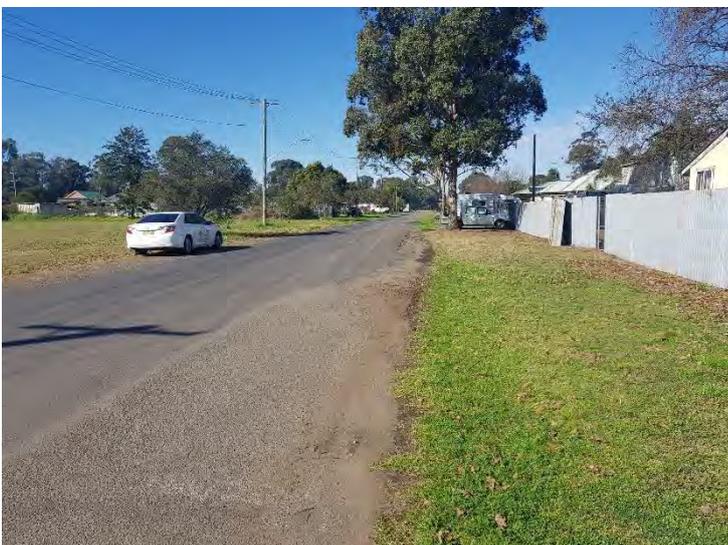
Looking east along the Garfield Road
West section of the Site



Photograph 2
Denmark Link Road, Riverstone NSW

19th July 2020

Looking west along the Garfield Road
West section of the Site



Photograph 3
Denmark Link Road, Riverstone NSW

19th July 2020

Looking south along the paved
section of Denmark Road



Photograph 4

Denmark Link Road, Riverstone NSW

19th July 2020

Looking north along the paved section of Denmark Road



Photograph 5

Denmark Link Road, Riverstone NSW

19th July 2020

Looking south along the unpaved section of Denmark Road



Photograph 6

Denmark Link Road, Riverstone NSW

19th July 2020

Looking north along the rear of the properties – southern end of the Denmark Road section of the Site



Photograph 7
Denmark Link Road, Riverstone NSW
19th July 2020

Looking east across the bushland area at the southern end of the Denmark Road section of the Site



Photograph 8
Denmark Link Road, Riverstone NSW
19th July 2020

Disused demountable in bushland area, southern end of Denmark Road section of the Site



Photograph 9
Denmark Link Road, Riverstone NSW
19th July 2020

Looking at the pond on Lot 10 Section W DP 712



Photograph 10

Denmark Link Road, Riverstone NSW

19th July 2020

Looking south along the Carlton Street section of the Site



Photograph 11

Denmark Link Road, Riverstone NSW

19th July 2020

Looking north along the Carlton Road section of the Site



Photograph 12

Denmark Link Road, Riverstone NSW

19th July 2020

Looking at the property at Lot 14 Section W DP 712



Photograph 13
Denmark Link Road, Riverstone NSW
19th July 2020
Looking west along Trevithick Street



Photograph 14
Denmark Link Road, Riverstone NSW
19th July 2020
Looking south along the West Parade
section of the Site



Photograph 15
Denmark Link Road, Riverstone NSW
19th July 2020
Drainage channel off West Parade,
going under the adjacent railway line



Photograph 16

Denmark Link Road, Riverstone NSW

19th July 2020

Looking north along the West Parade section of the Site



Photograph 17

Denmark Link Road, Riverstone NSW

19th July 2020

Access track in relic bushland at the southern end of West Parade



Photograph 18

Denmark Link Road, Riverstone NSW

19th July 2020

Illegally dumped waste in the relic bushland to the south of West Parade



Photograph 19

Denmark Link Road, Riverstone NSW

19th July 2020

Suspected asbestos fragments within the illegally dumped waste in relic bushland to the south of West Parade. These fragments were located outside the Site boundary



Photograph 20

Denmark Link Road, Riverstone NSW

19th July 2020

Drainage channel in relic bushland to the south of West Parade



Photograph 21

Denmark Link Road, Riverstone NSW

19th July 2020

Farm located to the north of Bridge Street, within relic bushland between West Parade and Bridge Street



Photograph 22

Denmark Link Road, Riverstone NSW

19th July 2020

Access track in relic bushland to the north of Bridge Street



Photograph 23

Denmark Link Road, Riverstone NSW

19th July 2020

Vacant grassland and electrical easement to the north of Bridge Street



Photograph 24

Denmark Link Road, Riverstone NSW

19th July 2020

Looking north along Bridge Street



Photograph 25

Denmark Link Road, Riverstone NSW

19th July 2020

Looking south along Bridge Street



Photograph 26

Denmark Link Road, Riverstone NSW

19th July 2020

Looking east across the Westminster
Street Bridge



APPENDICES

APPENDIX A: GROUNDWATER BORE SEARCH

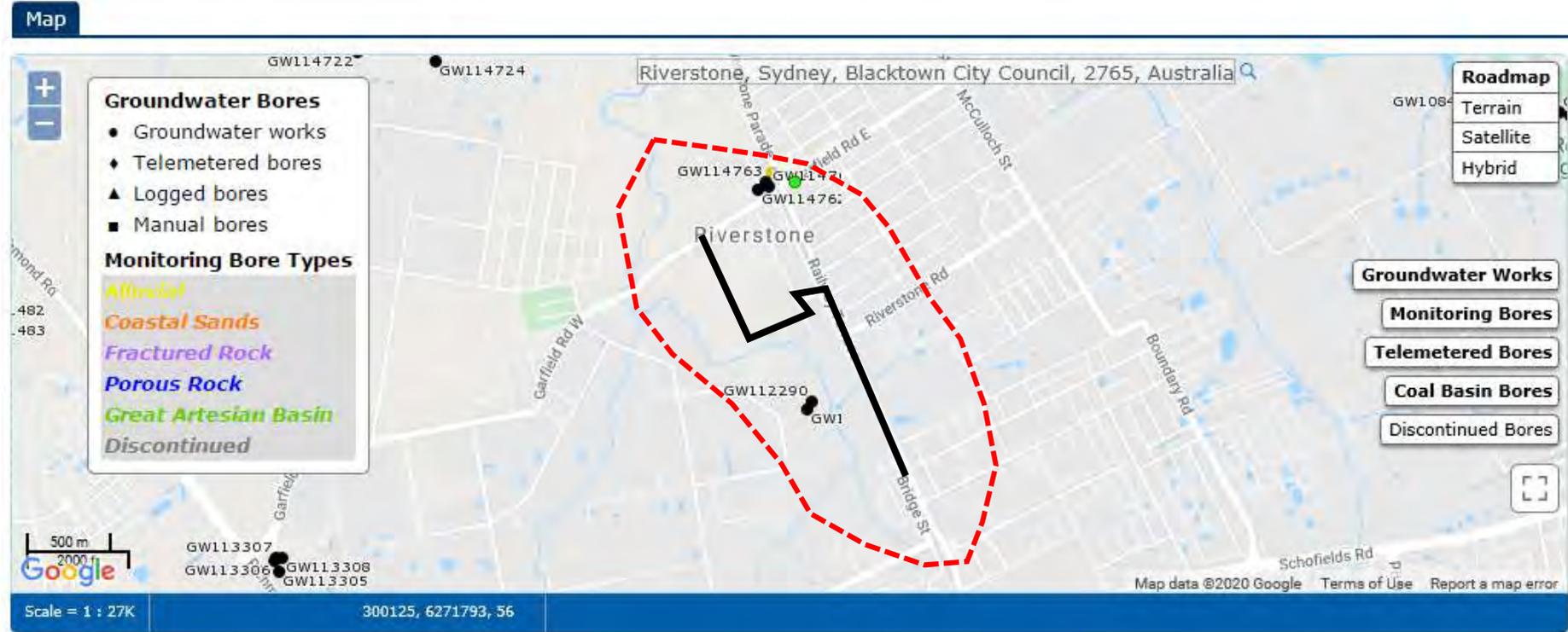
Groundwater Bore Search - Riverstone

All Groundwater Site Details » All Groundwater Map

GREATER SYDNEY REGION

[bookmark this page](#)

All data times are Eastern Standard Time



LEGEND:

— Site Location

□ Approximate 500m radius

WaterNSW Work Summary

GW112289

Licence:

Licence Status:

Authorised Purpose(s):
Intended Purpose(s): MONITORING BORE

Work Type: Bore
Work Status: Equipped
Construct.Method: Auger - Solid
Owner Type: Private

Commenced Date:
Completion Date: 19/11/2009

Final Depth: 10.00 m
Drilled Depth: 10.00 m

Contractor Name: Macquarie Drilling
Driller: Dino Parisotto
Assistant Driller:

Property:
GWMA:
GW Zone:

Standing Water Level (m):
Salinity Description:
Yield (L/s):

Site Details

Site Chosen By:

County
Form A: CUMBERLAND
Licensed:

Parish
ST MATTHE

Cadastre
63//1358

Region: 10 - Sydney South Coast
River Basin: - Unknown
Area/District:

CMA Map:
Grid Zone:

Scale:

Elevation: 0.00 m (A.H.D.)
Elevation Unknown
Source:

Northing: 6270161.000
Easting: 301866.000

Latitude: 33°41'24.1"S
Longitude: 150°51'44.7"E

GS Map: -

MGA Zone: 56

Coordinate Source: Unknown

Construction

Negative depths indicate Above Ground Level; C-Cemented; SL-Slot Length; A-Aperture; GS-Grain Size; Q-Quantity; PL-Placement of Gravel Pack; PC-Pressure Cemented; S-Sump; CE-Centralisers

Hole	Pipe	Component	Type	From (m)	To (m)	Outside Diameter (mm)	Inside Diameter (mm)	Interval	Details
1		Hole	Hole	0.00	10.00	125			Auger - Solid Flight

Drillers Log

From (m)	To (m)	Thickness (m)	Drillers Description	Geological Material	Comments
0.00	3.60	3.60	SILTY CLAY,MEDIUM BROWN	Silty Clay	
3.60	10.00	6.40	SHALE/SILSTONE LIGHT BROWN,IRONSTONE	Shale	

Remarks

18/07/2014: Nat Carling, 18-July-2014; Work type updated, added status & work name.

***** End of GW112289 *****

Warning To Clients: This raw data has been supplied to the WaterNSW by drillers, licensees and other sources. WaterNSW does not verify the accuracy of this data. The data is presented for use by you at your own risk. You should consider verifying this data before relying on it. Professional hydrogeological advice should be sought in interpreting and using this data.

WaterNSW Work Summary

GW11229

Licence:

Licence Status:

Authorised Purpose
(s):
Intended Purpose(s): MONITORING BORE

Work Type: Bore
Work Status: Equipped
Construct.Method: Auger - Solid
Owner Type: Private

Commenced Date:
Completion Date: 19/11/2009

Final Depth: 10.00 m
Drilled Depth: 10.00 m

Contractor Name: Macquarie Drilling
Driller: Dino Parisotto
Assistant Driller:

Property:

Standing Water Level
(m):

GWMA:
GW Zone:

Salinity Description:
Yield (L/s):

Site Details

Site Chosen By:

County
Form A: CUMBERLAND
Licensed:
Parish
ST MATTHE
Cadastre
63//1358

Region: 10 - Sydney South Coast
River Basin: - Unknown
Area/District:

CMA Map:
Grid Zone:
Scale:

Elevation: 0.00 m (A.H.D.)
Elevation Unknown
Source:

Northing: 6270198.000
Easting: 301889.000

Latitude: 33°41'22.9"S
Longitude: 150°51'45.6"E

GS Map: -

MGA Zone: 56

Coordinate Unknown
Source:

Construction

Negative depths indicate Above Ground Level; C-Cemented; SL-Slot Length; A-Aperture; GS-Grain Size; Q-Quantity; PL-Placement of Gravel Pack; PC-Pressure Cemented; S-Sump; CE-Centralisers

Hole	Pipe	Component	Type	From (m)	To (m)	Outside Diameter (mm)	Inside Diameter (mm)	Interval	Details
1		Hole	Hole	0.00	10.00	125			Auger - Solid Flight

Drillers Log

From (m)	To (m)	Thickness (m)	Drillers Description	Geological Material	Comments
0.00	4.00	4.00	SILTY CLAY,M/BROWN,HARD LOW PLAST.	Silty Clay	
4.00	10.00	6.00	SHALE/SILTSTONE,L/BROWN,IRONSTONE	Shale	

Remarks

18/07/2014: Nat Carling, 18-July-2014; Work type updated, added status & work name.

***** End of GW11229 *****

Warning To Clients: This raw data has been supplied to the WaterNSW by drillers, licensees and other sources. WaterNSW does not verify the accuracy of this data. The data is presented for use by you at your own risk. You should consider verifying this data before relying on it. Professional hydrogeological advice should be sought in interpreting and using this data.

WaterNSW Work Summary

GW11 1

Licence:

Licence Status:

Authorised Purpose
(s):
Intended Purpose(s): MONITORING BORE

Work Type: Bore
Work Status: Equipped
Construct.Method: Auger - Solid
Owner Type: Private

Commenced Date:
Completion Date: 19/11/2010

Final Depth: 11.80 m
Drilled Depth: 11.80 m

Contractor Name: (None)
Driller: Unkown Unknown

Assistant Driller:

Property:

Standing Water Level
(m):

GWMA:
GW Zone:

Salinity Description:
Yield (L/s):

Site Details

Site Chosen By:

County
Form A: CUMBERLAND
Licensed:
Parish
ST MATTHE
Cadastre
10//736235

Region: 10 - Sydney South Coast
River Basin: - Unknown
Area/District:

CMA Map:
Grid Zone:

Scale:

Elevation: 0.00 m (A.H.D.)
Elevation Unknown
Source:

Northing: 6271294.000
Easting: 301643.000

Latitude: 33°40'47.2"S
Longitude: 150°51'36.9"E

GS Map: -

MGA Zone: 56

Coordinate GPS - Global
Source:

Construction

Negative depths indicate Above Ground Level; C-Cemented; SL-Slot Length; A-Aperture; GS-Grain Size; Q-Quantity; PL-Placement of Gravel Pack; PC-Pressure Cemented; S-Sump; CE-Centralisers

Hole	Pipe	Component	Type	From (m)	To (m)	Outside Diameter (mm)	Inside Diameter (mm)	Interval	Details
1	1	Casing	Pvc Class 18	0.00	0.00	50			

Drillers Log

From (m)	To (m)	Thickness (m)	Drillers Description	Geological Material	Comments
0.00	0.40	0.40	FILL SILTY CLAY, DARK BROWN	Fill	
0.40	1.40	1.00	SILTY CLAY	Silty Clay	
1.40	2.60	1.20	SHALE ORANGE BROWN	Shale	
2.60	3.00	0.40	SHALE ORANGE BROWN AND GREY	Shale	

3.00	4.50	1.50	SHALE, ORANGE BROWN AND GREY	Shale	
4.50	5.00	0.50	SHALE ORANGE BROWN AND GREY,WET,FIRM	Shale	
5.00	6.00	1.00	SHALE ORANGE BROWN AND GREY,WET,FIRM	Shale	
6.00	10.40	4.40	SHALE ORANGE BROWN AND GREY,WET,FIRM	Shale	
10.40	10.60	0.20	SHALE ORANGE BROWN AND GREY,WET FIRM SOME CLAY	Shale	
10.60	11.80	1.20	SHALE ORANGE BROWN AND GREY,DRY,HARD	Shale	

Remarks

29/01/2015: Coordinates provided by LAS.

L. Franchi

15/04/2015: Nat Carling, 15-Apr-2015; Work type updated.

*** End of GW11 1 ***

Warning To Clients: This raw data has been supplied to the WaterNSW by drillers, licensees and other sources. WaterNSW does not verify the accuracy of this data. The data is presented for use by you at your own risk. You should consider verifying this data before relying on it. Professional hydrogeological advice should be sought in interpreting and using this data.

WaterNSW Work Summary

GW11

Licence:

Licence Status:

Authorised Purpose

(s):

Intended Purpose(s): MONITORING BORE

Work Type: Bore

Work Status: Equipped

Construct.Method: Auger - Solid

Owner Type: Private

Commenced Date:

Completion Date: 19/11/2010

Final Depth: 11.80 m

Drilled Depth: 11.80 m

Contractor Name: Terratest

Driller: Unkown Unknown

Assistant Driller:

Property:

Standing Water Level 9.800

(m):

GWMA:

Salinity Description:

GW Zone:

Yield (L/s):

Site Details

Site Chosen By:

County
Form A: CUMBERLAND
Licensed:

Parish
ST MATTHE

Cadastre
10//736235

Region: 10 - Sydney South Coast
River Basin: - Unknown
Area/District:

CMA Map:
Grid Zone:

Scale:

Elevation: 0.00 m (A.H.D.)
Elevation Unknown
Source:

Northing: 6271320.000
Easting: 301629.000

Latitude: 33°40'46.4"S
Longitude: 150°51'36.4"E

GS Map: -

MGA Zone: 56

Coordinate GPS - Global
Source:

Construction

Negative depths indicate Above Ground Level; C-Cemented; SL-Slot Length; A-Aperture; GS-Grain Size; Q-Quantity; PL-Placement of Gravel Pack; PC-Pressure Cemented; S-Sump; CE-Centralisers

Hole	Pipe	Component	Type	From (m)	To (m)	Outside Diameter (mm)	Inside Diameter (mm)	Interval	Details
1		Hole	Hole	0.00	2.00	125			Auger - Solid Flight
1		Hole	Hole	2.00	11.80	125			Rotary - Percussion (Down Hole H
1		Annulus	Bentonite/Grout	7.20	8.20				
1		Annulus	Waterworn/Rounded	9.60	11.80				Graded
1	1	Casing	Pvc Class 18	0.00	9.60	60	50		Seated on Bottom, Other
1	1	Opening	Slots - Horizontal	0.00	9.60	60		0	Casing - Machine Slotted, PVC Class 18, Kwik-lock, A: 0.40mm

Water Bearing Zones

From (m)	To (m)	Thickness (m)	WBZ Type	S.W.L. (m)	D.D.L. (m)	Yield (L/s)	Hole Depth (m)	Duration (hr)	Salinity (mg/L)
9.80	11.80	2.00	Unknown	9.80					

Drillers Log

From (m)	To (m)	Thickness (m)	Drillers Description	Geological Material	Comments
0.00	0.80	0.80	FILL SILTY GRAVELLY CLAY	Fill	
0.80	2.00	1.20	SILTY CLAY	Silty Clay	
2.00	11.80	9.80	SHALE	Shale	

Remarks

29/01/2015: Coordinates provided by LAS.

L. Franchi

15/04/2015: Nat Carling, 15-Apr-2015; Work type updated.

*** End of GW11 ***

Warning To Clients: This raw data has been supplied to the WaterNSW by drillers, licensees and other sources. WaterNSW does not verify the accuracy of this data. The data is presented for use by you at your own risk. You should consider verifying this data before relying on it. Professional hydrogeological advice should be sought in interpreting and using this data.

WaterNSW Work Summary

GW11 2

Licence:

Licence Status:

Authorised Purpose

(s):

Intended Purpose(s): MONITORING BORE

Work Type: Bore

Work Status: Equipped

Construct.Method: Auger - Solid

Owner Type: Private

Commenced Date:

Completion Date: 19/11/2010

Final Depth: 11.80 m

Drilled Depth: 11.80 m

Contractor Name: Terratest

Driller: Unkown Unknown

Assistant Driller:

Property:

Standing Water Level 9.400

(m):

GWMA:

Salinity Description:

GW Zone:

Yield (L/s):

Site Details

Site Chosen By:

County
Form A: CUMBERLAND
Licensed:

Parish
ST MATTHE

Cadastre
10//736235

Region: 10 - Sydney South Coast
River Basin: - Unknown
Area/District:

CMA Map:
Grid Zone:

Scale:

Elevation: 0.00 m (A.H.D.)
Elevation Unknown
Source:

Northing: 6271281.000
Easting: 301589.000

Latitude: 33°40'47.6"S
Longitude: 150°51'34.8"E

GS Map: -

MGA Zone: 56

Coordinate GPS - Global
Source:

Construction

Negative depths indicate Above Ground Level; C-Cemented; SL-Slot Length; A-Aperture; GS-Grain Size; Q-Quantity; PL-Placement of Gravel Pack; PC-Pressure Cemented; S-Sump; CE-Centralisers

Hole	Pipe	Component	Type	From (m)	To (m)	Outside Diameter (mm)	Inside Diameter (mm)	Interval	Details
1		Hole	Hole	0.00	2.00	125			Auger - Solid Flight
1		Hole	Hole	2.00	11.80	125			Rotary - Percussion (Down Hole H
1		Annulus	Bentonite/Grout	7.20	8.20				
1		Annulus	Waterworn/Rounded	8.20	11.80				Graded
1	1	Casing	Pvc Class 18	0.00	9.30	60	50		Seated on Bottom, Other
1	1	Opening	Slots - Horizontal	9.30	11.80	60		0	Casing - Machine Slotted, PVC Class 18, Kwik-lock, A: 0.40mm

Water Bearing Zones

From (m)	To (m)	Thickness (m)	WBZ Type	S.W.L. (m)	D.D.L. (m)	Yield (L/s)	Hole Depth (m)	Duration (hr)	Salinity (mg/L)
9.50	11.80	2.30	Unknown	9.40					

Drillers Log

From (m)	To (m)	Thickness (m)	Drillers Description	Geological Material	Comments
0.00	0.60	0.60	FILL,SILTY GRAVELLY CLAY	Fill	
0.60	2.00	1.40	SILTY CLAY	Silty Clay	
2.00	11.80	9.80	SHALE	Shale	

Remarks

29/01/2015: Coordinates provided by LAS.

L. Franchi

15/04/2015: Nat Carling, 15-Apr-2015; Updated work type.

*** End of GW11 2 ***

Warning To Clients: This raw data has been supplied to the WaterNSW by drillers, licensees and other sources. WaterNSW does not verify the accuracy of this data. The data is presented for use by you at your own risk. You should consider verifying this data before relying on it. Professional hydrogeological advice should be sought in interpreting and using this data.

APPENDIX B: HISTORICAL TITLES SEARCH



ABN: 36 092 724 251
Ph: 02 9099 7400
(Ph: 0412 199 304)

Level 14, 135 King Street, Sydney
Sydney 2000
GPO Box 4103 Sydney NSW 2001
DX 967 Sydney

Summary of Owners Report

Address: - Garfield Road West, Riverstone

Description: - Lot 1 D.P. 135870

<u>Date of Acquisition and term held</u>	<u>Registered Proprietor(s) & Occupations where available</u>	<u>Reference to Title at Acquisition and sale</u>
29.10.1917 (1917 to 1964)	Ludovic Blackwood (Merchant)	Vol 2799 Fol 99
04.02.1964 (1964 to 1968)	Reinhard Schromm (Welder) (Acquired for unpaid rates)	Vol 2799 Fol 99 Now Vol 9776 Fol 246
11.03.1968 (1968 to date)	# Council of the Municipality of Blacktown	Vol 9776 Fol 246 Now Auto Consol 9776-246

Denotes Current Registered Proprietor

Easements & Leases: - NIL

Yours Sincerely
Mark Groll
14 July 2020

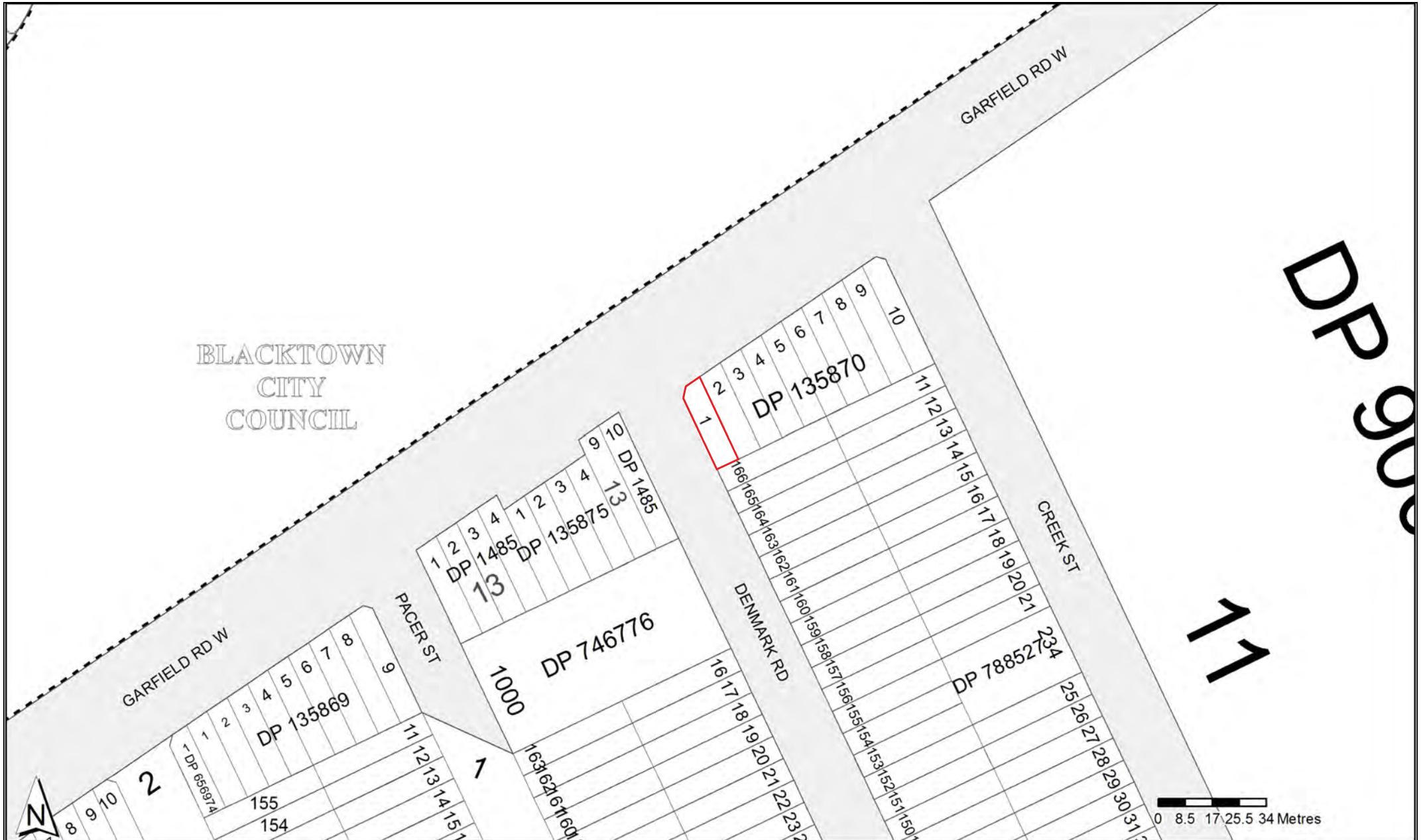
Cadastral Records Enquiry Report : Lot 1 DP 135870

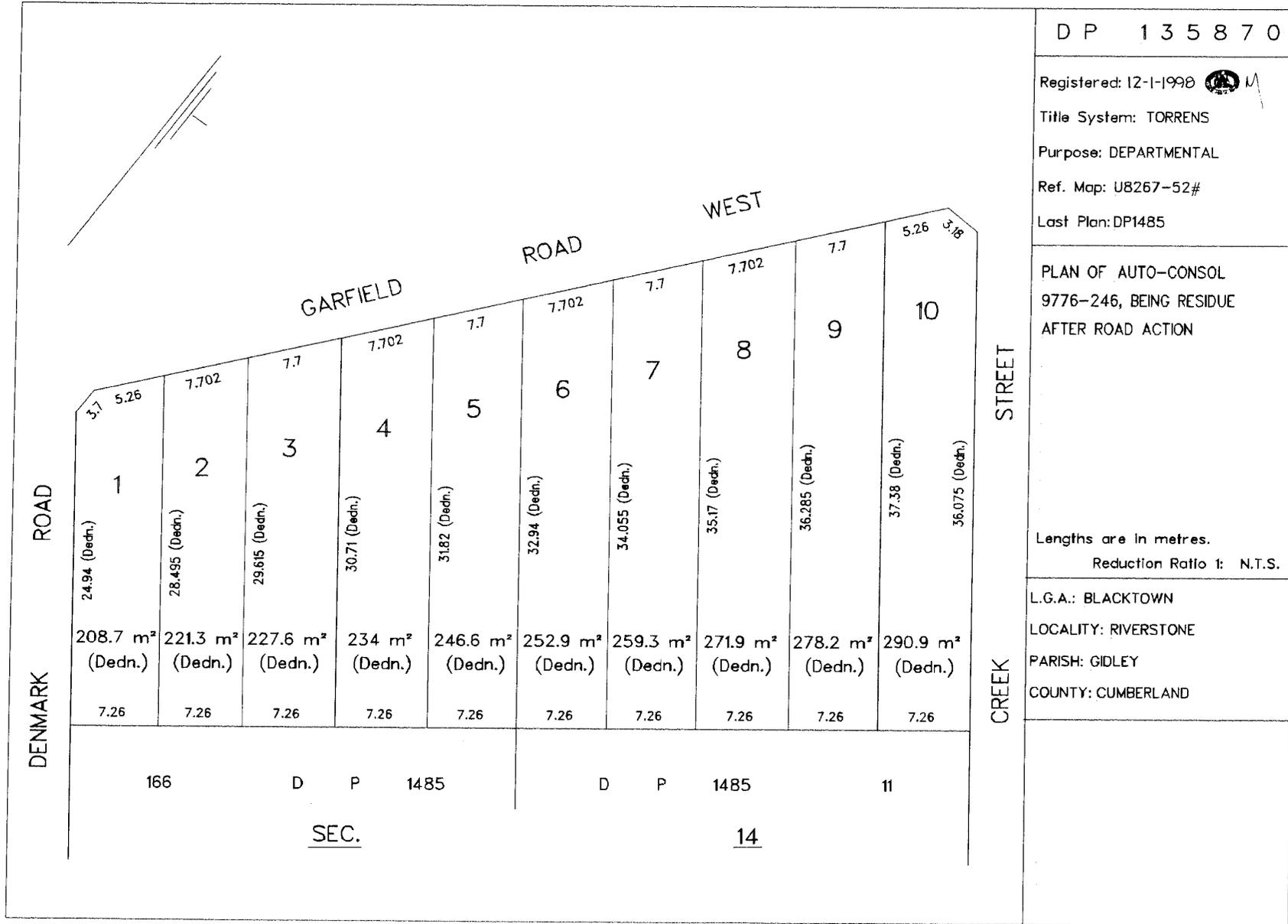
Locality : RIVERSTONE

LGA : BLACKTOWN

Parish : GIDLEY

County : CUMBERLAND





DP 135870

Registered: 12-1-1998 M
 Title System: TORRENS
 Purpose: DEPARTMENTAL
 Ref. Map: U8267-52#
 Last Plan: DP1485

PLAN OF AUTO-CONSOL
 9776-246, BEING RESIDUE
 AFTER ROAD ACTION

Lengths are in metres.
 Reduction Ratio 1: N.T.S.

L.G.A.: BLACKTOWN
 LOCALITY: RIVERSTONE
 PARISH: GIDLEY
 COUNTY: CUMBERLAND

N O O 10 D 1 B

G.D.B. -----



CERTIFICATE OF TITLE
PROPERTY ACT, 1900, as amended.



09776246

NEW SOUTH WALES
Application No.515
Prior title Vol.2799 Fol.99

Vol. 3740 Fol. 246
1st Edition issued 17-8-1964
J628198
CANCELLED

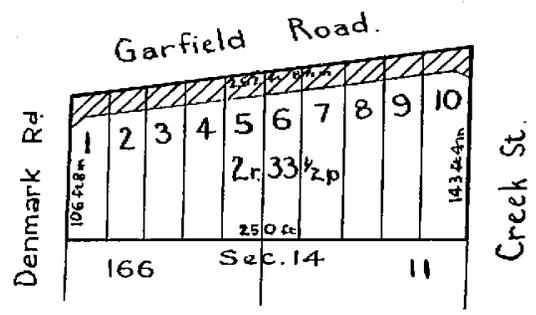


I certify that the person described in the First Schedule is the registered proprietor of the undermentioned estate in the land within described subject nevertheless to such exceptions encumbrances and interests as are shown in the Second Schedule.

Witness

SEE AUTO FOLIO
Registrar General.

PLAN SHOWING LOCATION OF LAND



J628198 ~~7B~~

Scale: 100 feet to one inch

ESTATE AND LAND REFERRED TO

Estate in Fee Simple in Lots 1 to 10 inclusive Section 14 in Deposited Plan 1485 in the Municipality of Blacktown Parish of Gidley and County of Cumberland being part Portion 1 granted to Maurice Charles O'Connell on 22-3-1814.

Registrar General.

FIRST SCHEDULE (continued overleaf)

~~REINHARD SCHRAMM Vineyard, Welder.~~

Registrar General.

SECOND SCHEDULE (continued overleaf)

- 1. Reservations and conditions, if any, contained in the Crown Grant above referred to.
- 2. The registered proprietor holds subject to Section 604 Local Government Act 1919.

Registrar General.

9776 246

Fol. (Page 1) Vol.

PERSONS ARE CAUTIONED AGAINST ALTERING OR ADDING TO THIS CERTIFICATE OR ANY NOTIFICATION HEREON

WARNING: THIS DOCUMENT MUST NOT BE REMOVED FROM THE LAND TITLES OFFICE.

FIRST SCHEDULE (continued)

REGISTERED PROPRIETOR	INSTRUMENT			ENTERED	Signature of Registrar General
	NATURE	NUMBER	DATE		
The Council of The Municipality of Blacktown	Transfer	L1284	11-3-1968	3-5-1968	<i>Jaworski</i>
CANCELLED					
SEE AUTO FOLIO					

2234
L1284
affected in
Blacktown
9/1/68
N/R
L20953
hart

SECOND SCHEDULE (continued)

NATURE	INSTRUMENT		PARTICULARS	ENTERED	Signature of Registrar General	CANCELLATION	
	NUMBER	DATE					
Resumption	L209334		The land shown hatched black in the plan hereon being lots 112 to 121 inclusive DP 234750 is vested in The Council of the Municipality of Blacktown.	3.12.1968	<i>Jaworski</i>		

N
O
P.

9776 Vol. 246

(Page 2 of 2 pages)



SEARCH DATE

14/7/2020 10:39AM

FOLIO: 1/135870

First Title(s): OLD SYSTEM
Prior Title(s): VOL 9776 FOL 246

Recorded	Number	Type of Instrument	C.T. Issue
12/1/1998	DP135870	DEPOSITED PLAN	LOT RECORDED FOLIO NOT CREATED
31/7/2003	9839540	DEPARTMENTAL DEALING	FOLIO CREATED CT NOT ISSUED
31/7/2003	9839586	ADDED TO AUTO CONSOL 9776-246	

*** END OF SEARCH ***



NEW SOUTH WALES LAND REGISTRY SERVICES - HISTORICAL SEARCH

SEARCH DATE

14/7/2020 10:42AM

FOLIO: AUTO CONSOL 9776-246

Recorded	Number	Type of Instrument	C.T. Issue
9/7/1991		CONSOL HISTORY RECORD CREATED FOR AUTO CONSOL 9776-246	

PARCELS IN CONSOL ARE:
1-10/14/1485.

12/1/1998	DP135870	DEPOSITED PLAN	
31/7/2003	9839586	1/135870	ADDED
31/7/2003	9839586	2/135870	ADDED
31/7/2003	9839586	3/135870	ADDED
31/7/2003	9839586	4/135870	ADDED
31/7/2003	9839586	5/135870	ADDED
31/7/2003	9839586	6/135870	ADDED
31/7/2003	9839586	7/135870	ADDED
31/7/2003	9839586	8/135870	ADDED
31/7/2003	9839586	9/135870	ADDED
31/7/2003	9839586	10/135870	ADDED
31/7/2003	9839617	1/14/1485	EXCISED
31/7/2003	9839617	2/14/1485	EXCISED
31/7/2003	9839617	3/14/1485	EXCISED
31/7/2003	9839617	4/14/1485	EXCISED
31/7/2003	9839617	5/14/1485	EXCISED
31/7/2003	9839617	6/14/1485	EXCISED
31/7/2003	9839617	7/14/1485	EXCISED
31/7/2003	9839617	8/14/1485	EXCISED
31/7/2003	9839617	9/14/1485	EXCISED
31/7/2003	9839617	10/14/1485	EXCISED
31/7/2003	9839663	DEPARTMENTAL DEALING	

*** END OF SEARCH ***



FOLIO: AUTO CONSOL 9776-246

SEARCH DATE	TIME	EDITION NO	DATE
14/7/2020	10:17 AM	-	-

VOL 9776 FOL 246 IS THE CURRENT CERTIFICATE OF TITLE

LAND

LAND DESCRIBED IN SCHEDULE OF PARCELS
AT RIVERSTONE
LOCAL GOVERNMENT AREA BLACKTOWN
PARISH OF GIDLEY COUNTY OF CUMBERLAND
TITLE DIAGRAM DP135870

FIRST SCHEDULE

THE COUNCIL OF THE MUNICIPALITY OF BLACKTOWN (T L1284)

SECOND SCHEDULE (1 NOTIFICATION)

1 RESERVATIONS AND CONDITIONS IN THE CROWN GRANT(S)

NOTATIONS

UNREGISTERED DEALINGS: NIL

SCHEDULE OF PARCELS

LOTS 1-10 IN DP135870.

*** END OF SEARCH ***

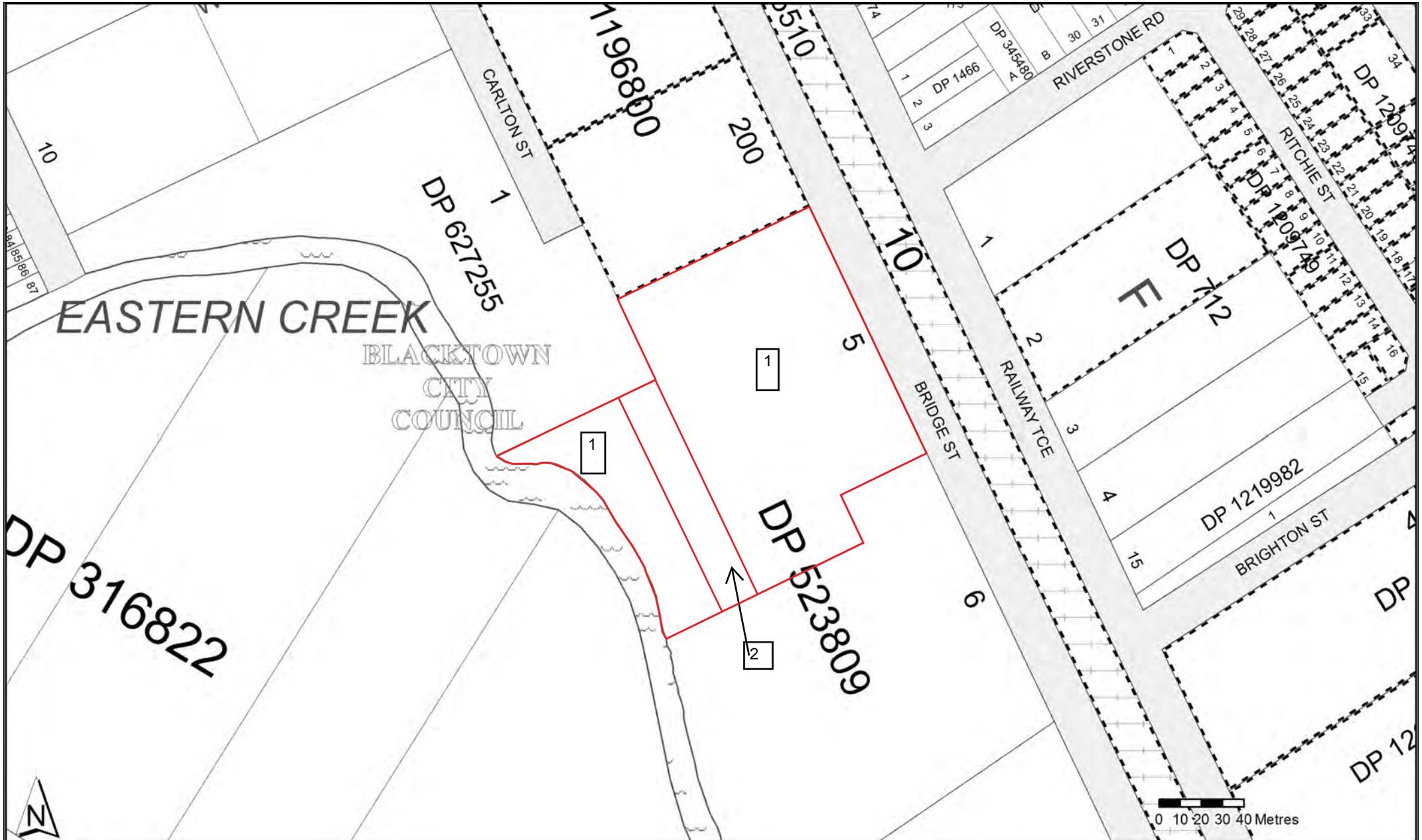
Cadastral Records Enquiry Report : Lot 5 DP 523809

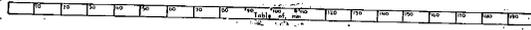
Locality : RIVERSTONE

Parish : GIDLEY

LGA : BLACKTOWN

County : CUMBERLAND





Form 1 OFFICE USE ONLY

PLAN OF Subdivision of Lots 546 & 547 DP 520360 DP 523809

Registered: *[Signature]*
 C.A. 4059, dated 7.12.1966

Title System: Terrace
 Purpose: Subdivision
 Ref. Maps: S.C.C. 240
 Last Plans: DP 520360 (D.P. 1833)

Man./Shire/City: Blacktown
 Town or Locality: Riverstone
 Parish: Gidley
 County: Cumberland Scale: 200 ft. to 1 inch

WARNING: Plan Drawing only to appear in this space.

WARNING: Plan Drawing only to appear in this space.

Signatures, Seals and Statements of intention to dedicate public roads or public reserves or create drainage reserves, easements, or restrictions as to user.

I hereby certify that the survey registered under the Surveyors Act, 1919, as amended, is correct and that the survey represented in this plan is a correct and true copy of the survey as registered in accordance with the Surveyors Act, 1919, and was completed on 12.12.1966.

Date of Survey: 12.12.1966 Signature: *[Signature]*
 Council Clerk's Certificate.

I hereby certify that the requirements of the local Government Act, 1919 (other than the requirements for the registration of plans) and the requirements of Section 212 of the Metropolitan Water, Sewerage, and Drainage Act, 1914, as amended, have been complied with by the applicant in relation to the proposed subdivision in accordance with the Surveyors Act, 1919, as amended.

Date: 12.12.1966 Signature: *[Signature]*
 Council Clerk.

M.P.D. SURVEYORS REFERENCE *[Signature]*

CONVERSION TABLE ADDED IN REGISTRAR GENERAL'S DEPARTMENT

DP 523809

FEET	INCHES	METRES
82	0 1/2	25.253
186	-	52.453
197	0	44.958
275	0 1/2	83.274
350	-	106.684
390	-	105.632
419	-	127.711
456	0	139.111
582	-	177.594

AC	RD	P	HA
0	-	-	2.023
0	-	19	2.071

I, Jack Hayward Watson, Registrar General for New South Wales, certify that this negative is a photograph made as a permanent record of a document in my custody this 25th day of May, 1974.

[Signature]



09759062

NEW SOUTH WALES
Application No.515 (part)
Prior Titles Vol.4586 Fol.225
Vol.6990 Fol.201

CERTIFICATE OF TITLE
PROPERTY, 1900, as amended.

Vol. 6990 Fol. 62

MA 1st Edition issued 24-7-1964



I certify that the person described in the First Schedule is the registered proprietor of the undermentioned estate in the land within described subject nevertheless to such exceptions encumbrances and interests as are shown in the Second Schedule.

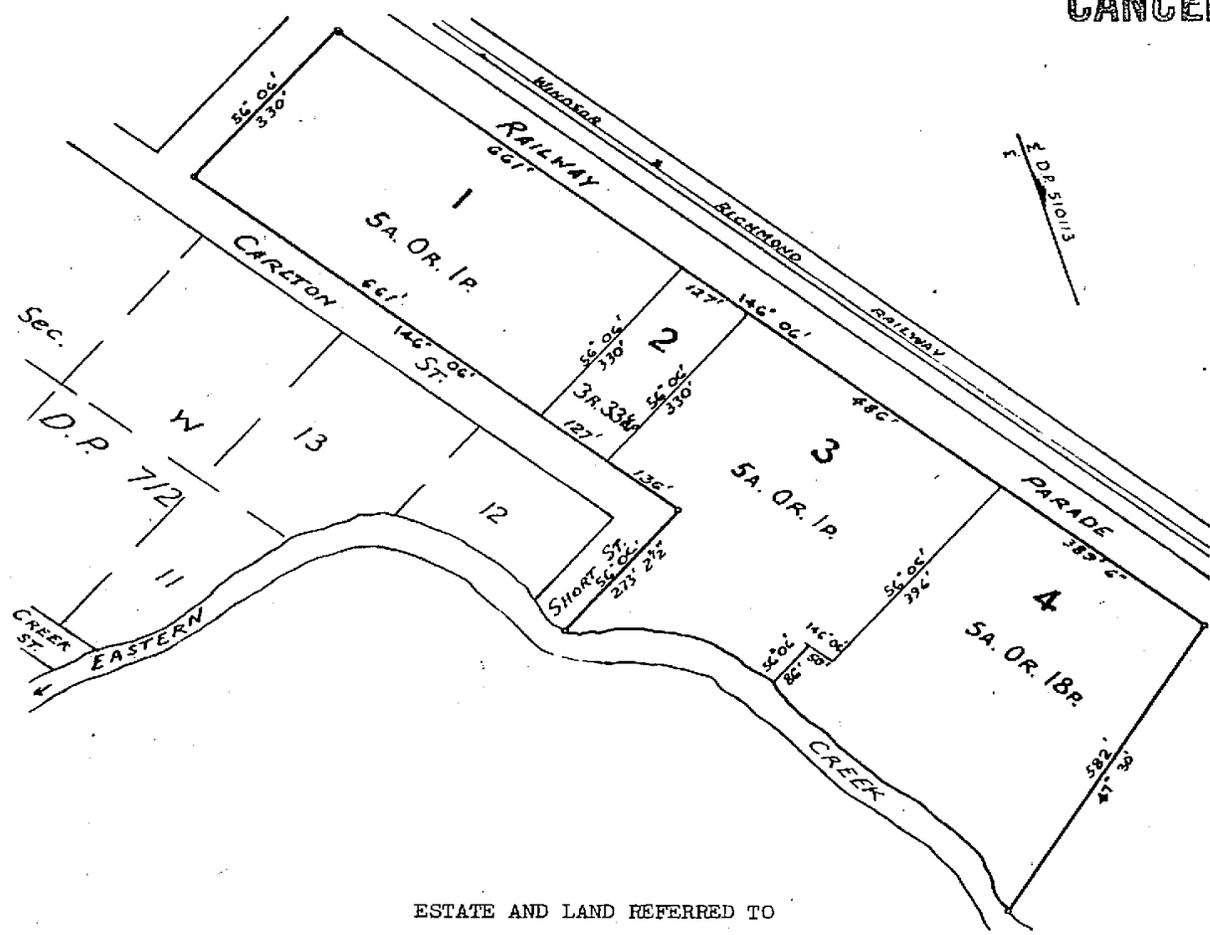
Witness *J. Labor*

Jawatson
Registrar General.



PLAN SHOWING LOCATION OF LAND

CANCELLED



ESTATE AND LAND REFERRED TO

Estate in Fee Simple in Lot 3 in Deposited Plan 510113 at Riverstone in the Municipality of Blacktown Parish of Gidley and County of Cumberland being part of Portion 1 granted to Maurice Charles O'Connell on 22-3-1814 and also part of 1 acre 2 roods 32 perches granted on 9-8-1933 by Crown Grant Volume 4586 Folio 225 excepting thereout the minerals reserved by the Crown Grant of 1 acre 2 roods 32 perches.

FIRST SCHEDULE (continued overleaf)

LAWRENCE WILLIAM DAWSON, of Schofields, Dairyman.

Jawatson
Registrar General.

SECOND SCHEDULE (continued overleaf)

1. Reservations and conditions, if any, contained in the Crown Grant(s) above referred to.

Jawatson
Registrar General.

9759

Fol. (Page 1) Vol.

PERSONS ARE CAUTIONED AGAINST ALTERING OR ADDING TO THIS CERTIFICATE OR ANY NOTIFICATION HEREON

WARNING: THIS DOCUMENT MUST NOT BE REMOVED FROM THE LAND TITLES OFFICE.

FIRST SCHEDULE (continued)

REGISTERED PROPRIETOR

INSTRUMENT

NATURE NUMBER DATE

ENTERED

Signature of Registrar General

This deed is cancelled as to The whole

New Certificates of Title have issued for lots in

deposited Plan No. 520360 as follows:-

Lots 546 Vol. 10362 Fol. 245124 respectively

J. J. J. J.
REGISTRAR GENERAL



DP 520360
(C.T.)
8/12/76
Proprietor
DP 520360
(whole)

SECOND SCHEDULE (continued)

INSTRUMENT
NATURE NUMBER DATE

PARTICULARS

ENTERED

Signature of Registrar General

CANCELLATION

new C.T. issued on DP 520360. No further dealings to be regd. without reference to SDB.



09759063

NEW SOUTH WALES

CERTIFICATE OF TITLE

PROPERTY ACT, 1900, as amended.

Application No.515 (part)
Prior Titles Vol.4586 Fol.225
Vol.6990 Fol.201

Vol. **9759** Fol. **63**

MA 1st Edition issued 24-7-1964



I certify that the person described in the First Schedule is the registered proprietor of the undermentioned estate in the land within described subject nevertheless to such exceptions encumbrances and interests as are shown in the Second Schedule.

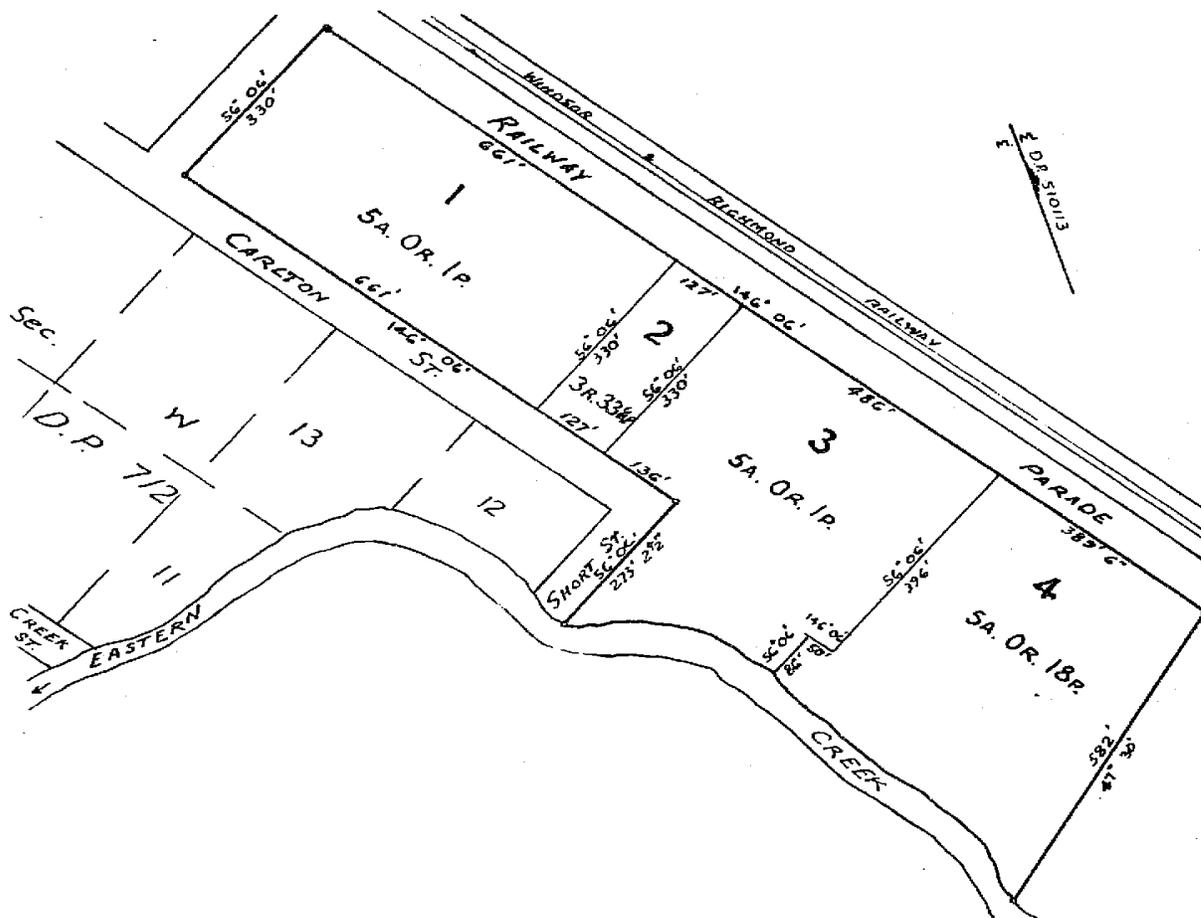
Witness *Edalor*

Jawatson
Registrar General.



PLAN SHOWING LOCATION OF LAND

CANCELLED



ESTATE AND LAND REFERRED TO

Estate in Fee Simple in Lot 4 in Deposited Plan 510113 at Riverstone in the Municipality of Blacktown Parish of Gidley and County of Cumberland being part of Portion 1 granted to Maurice Charles O'Connell on 22-3-1814 and also part of 1 acre 2 roods 32 perches granted on 9-8-1933 by Crown Grant Volume 4586 Folio 225, excepting thereout the minerals reserved by the Crown Grant of 1 acre 2 roods 32 perches.

FIRST SCHEDULE (continued overleaf)

LAWRENCE WILLIAM DAWSON, of Schofields, Dairyman.

Jawatson
Registrar General.

SECOND SCHEDULE (continued overleaf)

1. Reservations and conditions, if any, contained in the Crown Grant(s) above referred to.

Jawatson
Registrar General.

NOTE: ENTRIES RULED THROUGH AND AUTHENTICATED BY THE SEAL OF THE REGISTRAR GENERAL ARE CANCELLED.

PERSONS ARE CAUTIONED AGAINST ALTERING OR ADDING TO THIS CERTIFICATE OR ANY NOTIFICATION HEREON

WARNING: THIS DOCUMENT MUST NOT BE REMOVED FROM THE LAND TITLES OFFICE.

9759 63
Fol. (Page 1) Vol.

FIRST SCHEDULE (continued)

REGISTERED PROPRIETOR

INSTRUMENT

NATURE NUMBER DATE

ENTERED

Signature of Registrar General

This deed is cancelled as to the whole

New Certificates of Title have issued for lots in

Deposited Plan No. 520360 as follows:

Lots 5+6 Vol 10362 Fol 295124 respectively

Joulaton
REGISTRAR GENERAL



DP 52036
(C.T.)
08 12/7/6
Proprietor
DP 52036
10362

SECOND SCHEDULE (continued)

NATURE INSTRUMENT NUMBER DATE

PARTICULARS

ENTERED

Signature of Registrar General

CANCELLATION

new Certificates on 520360 no further balance to be
deposited reference 10362



10552-237

CERTIFICATE OF TITLE
PROPERTY ACT, 1900, as amended.

NEW SOUTH WALES

Application No. 515 (part)

Vol. 10552 Fol. 237

Prior Title Vol. 10362 Fol. 245



EH

CANCELLED
Edition 1/1/83 12-5-1987

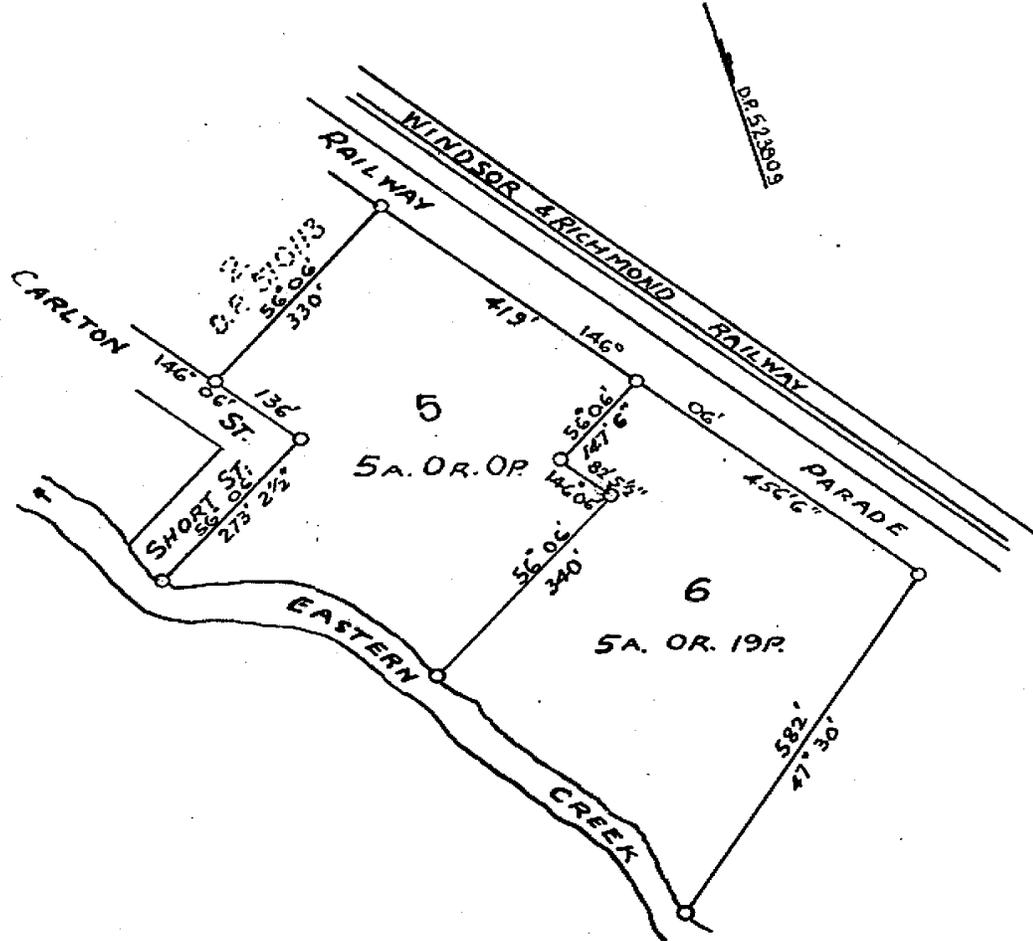
I certify that the person described in the First Schedule is the registered proprietor of the undermentioned estate in the land within described subject nevertheless to such exceptions encumbrances and interests as are shown in the Second Schedule.

Witness *J. Office*

Jawatson
Registrar General.



PLAN SHOWING LOCATION OF LAND



ESTATE AND LAND REFERRED TO

Estate in Fee Simple in Lot 5 in Deposited Plan 523809 at Riverstone in the Municipality of Blacktown Parish of Gidley and County of Cumberland being part of Portion 1 granted to Maurice Charles O'Connell on 22-3-1814 and part of 1 acre 2 roods 32 perches granted by Crown Grant Volume 4586 Folio 225. EXCEPTING THEREOUT the minerals reserved by the Crown Grant Volume 4586 Folio 225.

FIRST SCHEDULE (continued overleaf)

LAWRENCE WILLIAM DAWSON, Sheffield, Dairyman.

SECOND SCHEDULE (continued overleaf)

1. Reservations and conditions, if any, contained in the Crown Grants above referred to.

Jawatson
Registrar General.

PERSONS ARE CAUTIONED AGAINST ALTERING OR ADDING TO THIS CERTIFICATE OR ANY NOTIFICATION HEREON

WARNING THIS DOCUMENT MUST NOT BE REMOVED FROM THE LAND TITLES OFFICE

10552 Fol. 237
(Page 1) Vol.



NEW SOUTH WALES LAND REGISTRY SERVICES - HISTORICAL SEARCH

SEARCH DATE

14/7/2020 10:39AM

FOLIO: 5/523809

First Title(s): SEE PRIOR TITLE(S)

Prior Title(s): VOL 10552 FOL 237

Recorded	Number	Type of Instrument	C.T. Issue
-----	-----	-----	-----
28/3/1988		TITLE AUTOMATION PROJECT	LOT RECORDED FOLIO NOT CREATED
22/6/1988		CONVERTED TO COMPUTER FOLIO	FOLIO CREATED CT NOT ISSUED
11/11/1993		AMENDMENT: LOCAL GOVT AREA	

*** END OF SEARCH ***



FOLIO: 5/523809

SEARCH DATE	TIME	EDITION NO	DATE
14/7/2020	10:17 AM	-	-

VOL 10552 FOL 237 IS THE CURRENT CERTIFICATE OF TITLE

LAND

LOT 5 IN DEPOSITED PLAN 523809
AT RIVERSTONE
LOCAL GOVERNMENT AREA BLACKTOWN
PARISH OF GIDLEY COUNTY OF CUMBERLAND
TITLE DIAGRAM DP523809

FIRST SCHEDULE

JOE SULTANA
GRACIE SULTANA
AS JOINT TENANTS

(T Q627962)

SECOND SCHEDULE (2 NOTIFICATIONS)

- 1 RESERVATIONS AND CONDITIONS IN THE CROWN GRANT(S)
- 2 LAND EXCLUDES MINERALS BY THE CROWN GRANT VOL. 4586 FOL. 225

NOTATIONS

UNREGISTERED DEALINGS: NIL

*** END OF SEARCH ***



ABN: 36 092 724 251
Ph: 02 9099 7400
(Ph: 0412 199 304)

Level 14, 135 King Street, Sydney
Sydney 2000
GPO Box 4103 Sydney NSW 2001
DX 967 Sydney

Summary of Owners Report

Address: Denmark Road, Riverstone

Description: - Lot 5 D.P. 523809

As regards the parts numbered (1) on the attached Cadastral Records Enquiry Report

<u>Date of Acquisition and term held</u>	<u>Registered Proprietor(s) & Occupations where available</u>	<u>Reference to Title at Acquisition and sale</u>
27.09.1919 (1919 to 1954)	William George Witts (Farmer) (& his deceased estate)	Vol 984 Fol 57
23.12.1954 (1954 to	Allan Charles Moore (Electrical Engineer)	Vol 984 Fol 57 Now Vol 6990 Fol 201

As regards the part numbered (2) on the attached Cadastral Records Enquiry Report

<u>Date of Acquisition and term held</u>	<u>Registered Proprietor(s) & Occupations where available</u>	<u>Reference to Title at Acquisition and sale</u>
Pre 09.08.1933	Formerly Carlton Street, now closed	
09.08.1933 (1933 to 1954)	William George Witts (Farmer) (& his deceased estate)	Vol 4586 Fol 225

Continued as regards the whole of the subject land

<u>Date of Acquisition and term held</u>	<u>Registered Proprietor(s) & Occupations where available</u>	<u>Reference to Title at Acquisition and sale</u>
23.12.1954 (1954 to	Allan Charles Moore (Electrical Engineer)	Vol 984 Fol 57
23.12.1954 (1954 to 1959)	Allan Charles Moore (Electrical Engineer)	Vol 984 Fol 57 Now Vol 6990 Fol 201 & Vol 4586 Fol 225
04.12.1959 (1959 to 1972)	Lawrence William Dawson (Dairyman)	Vol 6990 Fol 201 & Vol 4586 Fol 225 Now Vol 10552 Fol 237
10.03.1972 (1972 to 1978)	Neville Keith Dawson (Meat Inspector)	Vol 10552 Fol 237
05.04.1978 (1978 to date)	# Joe Sultana (Loader Driver) # Gracie Sultana (Married Woman)	Vol 10552 Fol 237 Now 5/523809

Denotes Current Registered Proprietors

Easements & Leases: - NIL

Yours Sincerely
Mark Groll
14 July 2020

Email: mark.groll@infotrack.com.au



ABN: 36 092 724 251
Ph: 02 9099 7400
(Ph: 0412 199 304)

Level 14, 135 King Street, Sydney
Sydney 2000
GPO Box 4103 Sydney NSW 2001
DX 967 Sydney

Summary of Owners Report

Address: Creek Street, Riverstone

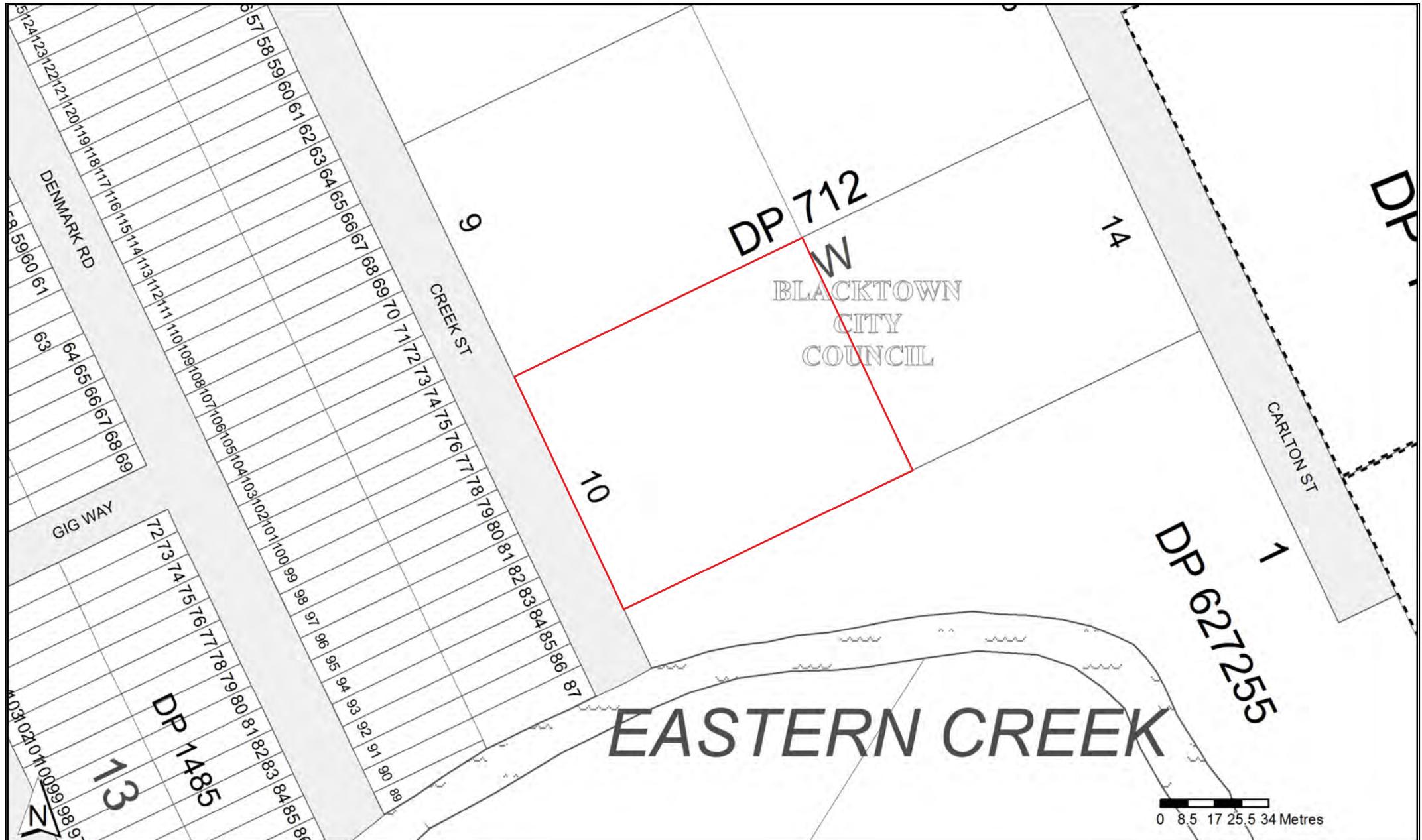
Description: - Lot 10 Section W D.P. 712

<u>Date of Acquisition and term held</u>	<u>Registered Proprietor(s) & Occupations where available</u>	<u>Reference to Title at Acquisition and sale</u>
11.10.1911 (1911 to 1927)	Charlotte Elizabeth Rosa (Married Woman)	Vol 624 Fol 203
09.12.1927 (1927 to 1944)	Francis Woldo Rosa (Fruiterer) (Transmission Application not investigated)	Vol 624 Fol 203
27.10.1944 (1944 to 1950)	Francis Albert Rosa (Tram Conductor) Bernard Mace Rosa (Butcher) (Transmission Application not investigated)	Vol 624 Fol 203
09.12.1950 (1950 to 1951)	George William Charles Mangold (Retired)	Vol 624 Fol 203
03.04.1951 (1951 to 1951)	Doris Annie Mangold (Widow) (Transmission Application not investigated)	Vol 624 Fol 203
03.04.1951 (1951 to 1991)	John Rabik (Labourer) (& his deceased estate)	Vol 624 Fol 203 Now 10/W/712
13.02.1991 (1991 to 1994)	Slavko Rabik	10/W/712
11.04.1994 (1994 to 1999)	Double China Trading Company Pty Ltd	10/W/712
15.11.1999 (1999 to 2017)	Wu Da Qi Zhang Min (or Min Zhang)	10/W/712
31.05.2017 (2017 to date)	# Min Zhang	10/W/712

Denotes Current Registered Proprietors

Easements & Easements: - NIL

Yours Sincerely
Mark Groll
14 July 2020



"A" 13/9/81

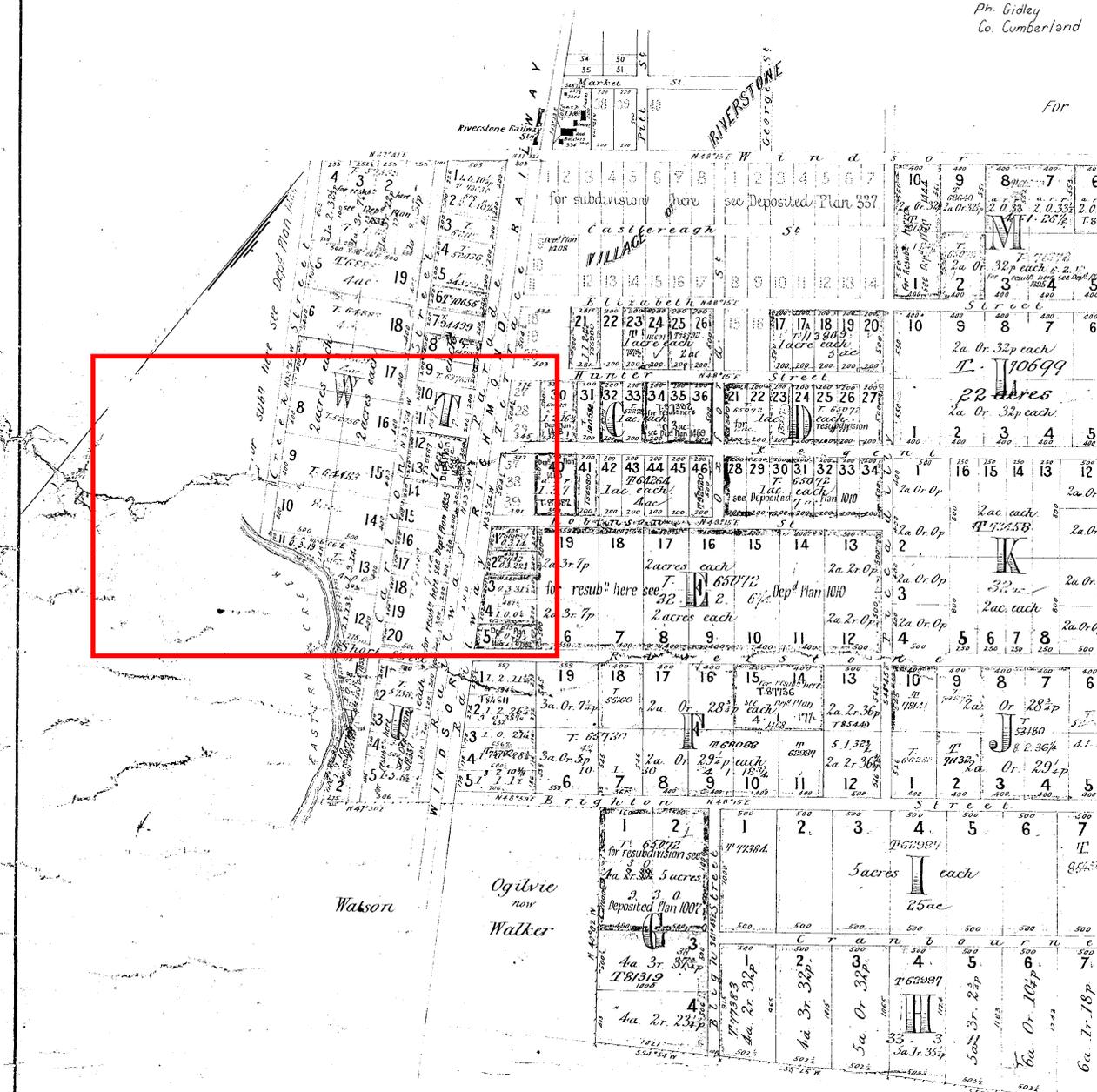
DP 712 (E)

SUBDIVISION
OF PART OF THE
RIVERSSTONE I

Part of 1000 ac. grant by Order of Council 22

Ph. Gidley
Co. Cumberland

For



DP 712 (E)

Schofield

Scale 6 chains to an inch.

This is the plan marked "A" 13/9/81 referred to in the declaration of W.M. Binns & L.S. made before me at Sydney this 13th day of September 1881.

Wm. J. Batt

Area of 1/4
1/4 = 27 1/2

DP 712[Ⓢ]

DIVISION

DEPARTMENT OF THE
TONE ESTATE

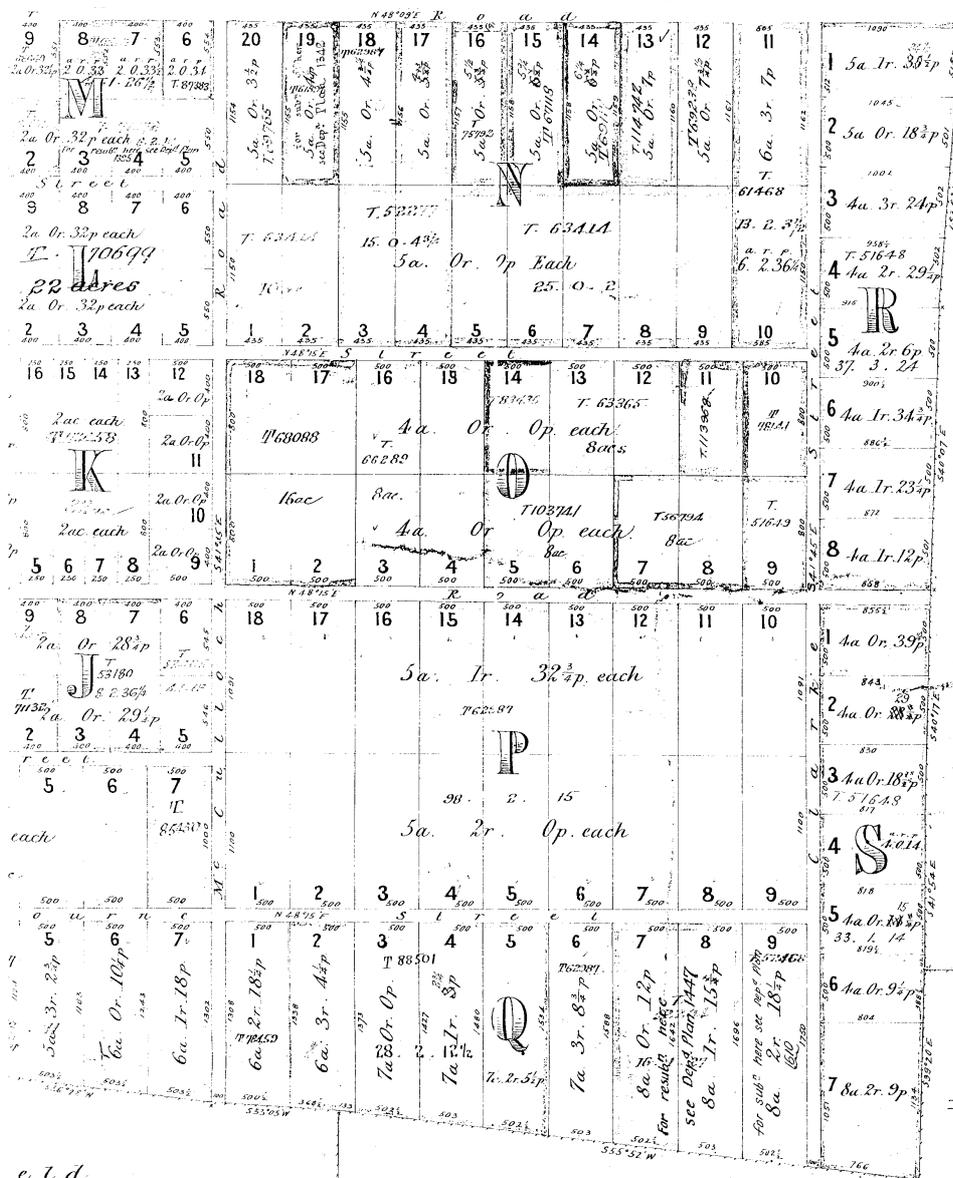
COPY MADE 2.8.1969
EXAMINED 9.8.1969

Plan of Subdivision 22nd March 1964

Ph. Gidley
Co. Cumberland

712

For subⁿ here see Dep^d Plan 1459



T e r r i t o r y

e t d

R o u s e

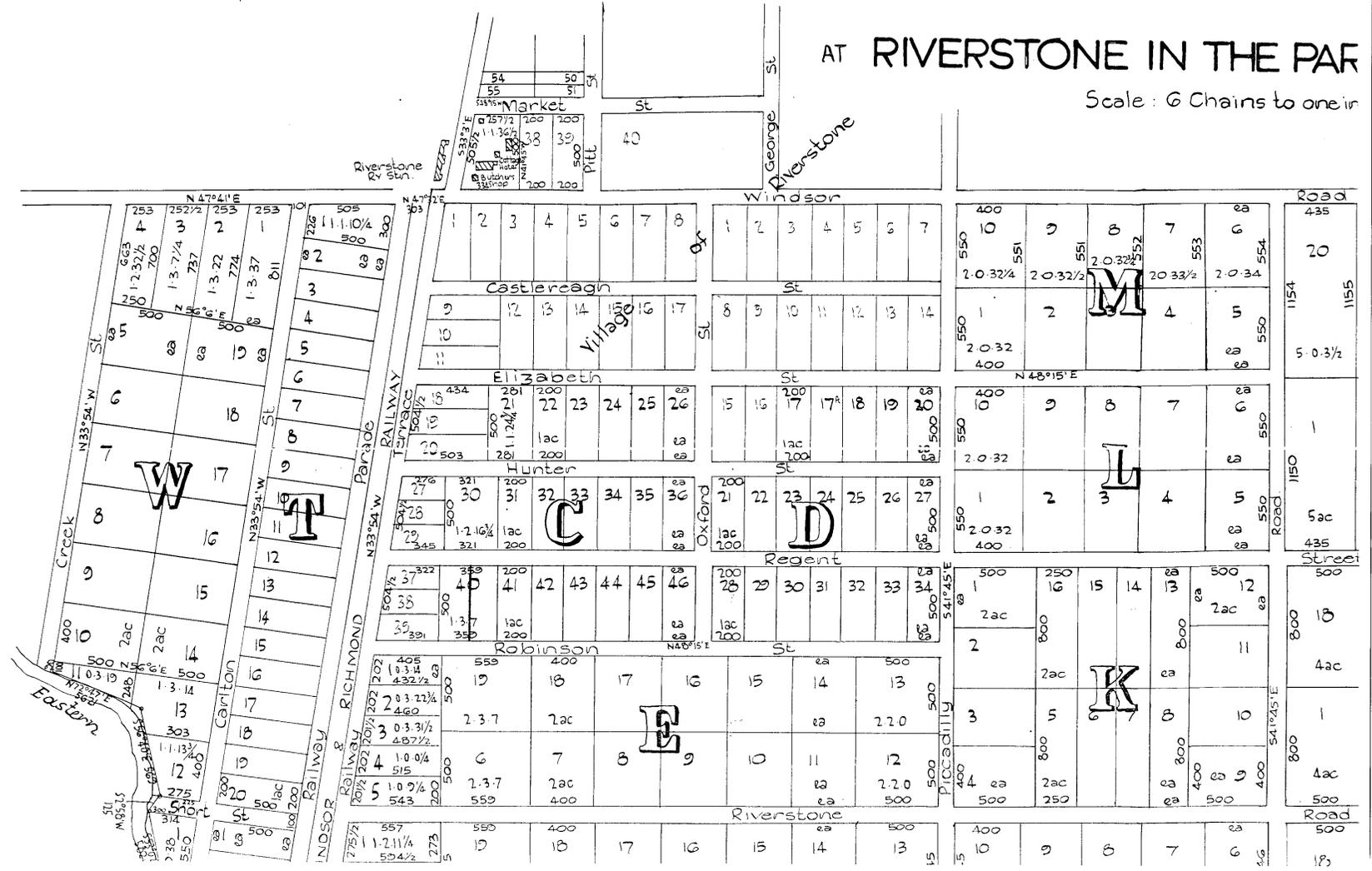
DP 712[Ⓢ]

DP 712 ©

SUBDIVISION OF PART RIVERSTONE E

AT RIVERSTONE IN THE PAR

Scale: 6 Chains to one in



D.P.712

D.P.712^(E) (copy)

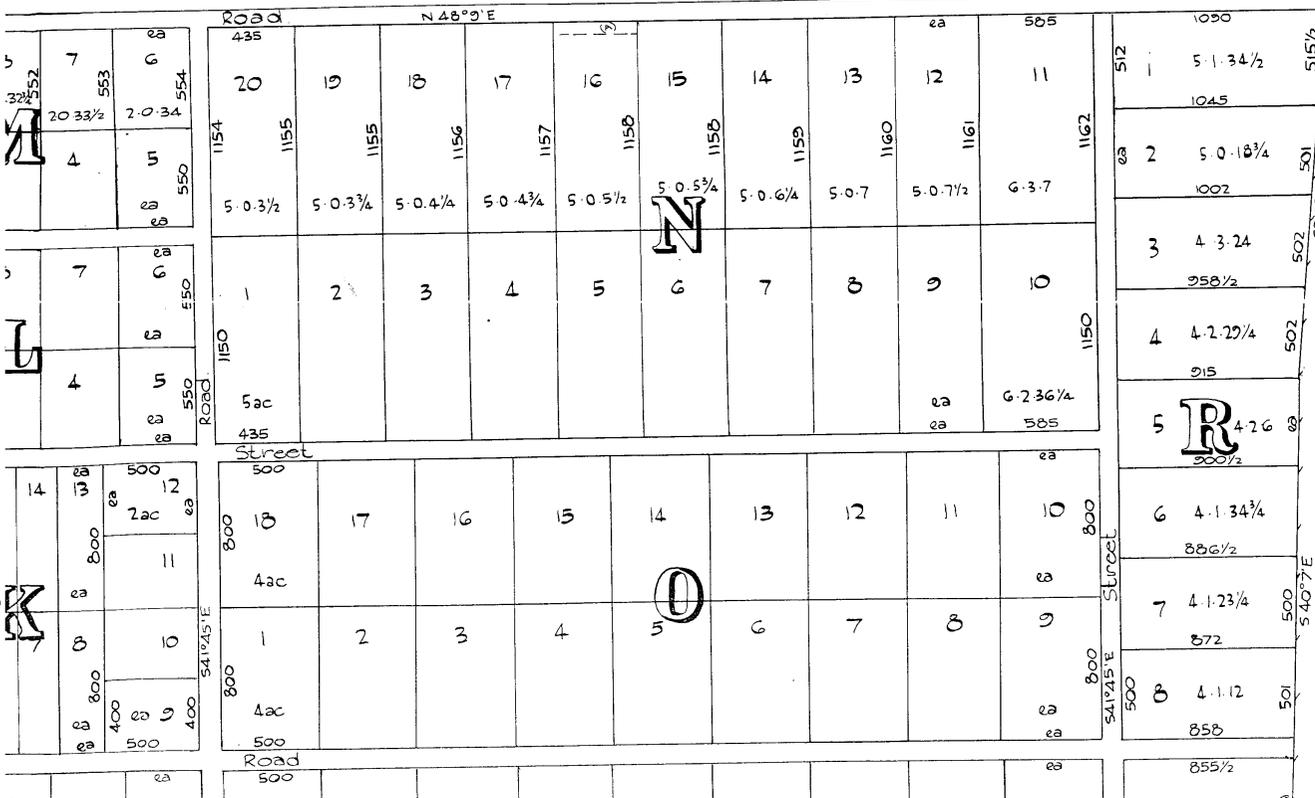
SION OF PART OF THE

STONE ESTATE

E IN THE PARISH OF GIDLEY

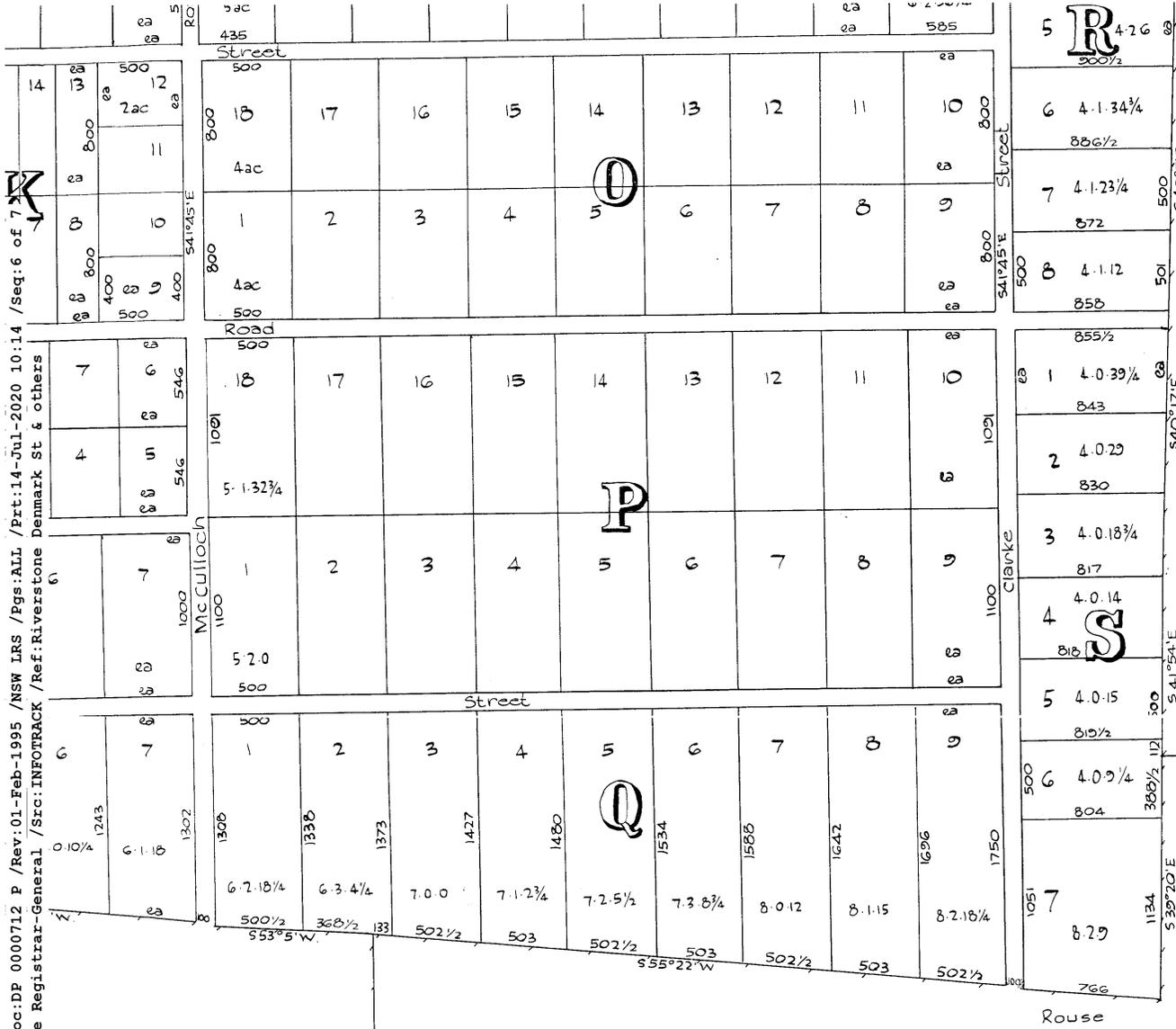
Req:R336291 /Doc:DP 0000712 P /Rev:01-Feb-1995 /NSW IRS /Egs:ALL /Prt:14-Jul-2020 10:14 /Seq:5 of 7
© Office of the Registrar-General /Src:INFOTRACK /Ref:Riverstone Denmark St & others

Scale: 6 Chains to one inch



(A) RESTRICTIONS ON USER - M481165

Req:R336291 /Doc:DP 0000712 P /Rev:01-Feb-1995 /NSW IRS /Egs:ALL /Prt:14-Jul-2020 10:14 /Seq:6 of 7
 © Office of the Registrar-General /Src:INFOTRACK /Ref:Riverstone Denmark St & others



(A) RESTRICTIONS ON USER - M481165

DP 712 (E)

SIGNED: N. H. BINSTED Licensed Surveyor
 Declaration Dated 13th September 1881.

CONVERSION TABLE ADDED IN
 REGISTRAR GENERAL'S DEPARTMENT

DP 712	
LINKS	METRES
3.03	0.61
7	1.41
27.4	5.51
30	6.035
55.1	11.085
90	18.105
100	20.115
100.25	20.165
105.1	21.145
112	22.53
133	26.755
138	27.76
176	35.405
178	35.81
179	36.01
186	37.415
200	40.235
201.5	40.535
202	40.635
225	45.265
226	45.465
227	45.665
248	49.89
250	50.29
252.5	50.79
253	50.9
257.5	51.8
272	54.72
273	54.92
274	55.12
275	55.32
275.5	55.42
276	55.52
281	56.53
300	60.35
303	60.95
314	63.17
320	64.47
321.5	64.57
322	64.78
334	67.19
345	69.4
359	72.22
368.5	74.13
388.5	78.15
391	78.66
396	79.66
400	80.47
405	81.47
413	83.08
432.5	87.01
434	87.31
435	87.51
460	92.54
487.5	98.07
490	98.57
500	100.58
500.5	100.68
501	100.79
502	100.99
502.5	101.09
503	101.19
503.5	101.29
504.5	101.49
505	101.59
505.5	101.69
506	101.79
512	103
515	103.6
515.5	103.7
538	108.23
543	109.23
545	109.64
546	109.84
550	110.64
551	110.84
552	111.04

CONVERSION TABLE ADDED IN
 REGISTRAR GENERAL'S DEPARTMENT

DP 712 CONTINUED	
LINKS	METRES
553	111.25
554	111.45
557	112.05
559	112.45
569	114.46
582.5	117.18
585	117.68
594.5	119.59
632	127.14
656.25	132.02
661	132.97
663	133.37
680.5	136.85
700	140.82
706	142.02
737	148.26
766	154.09
774	155.7
800	160.93
804	161.74
811	163.15
817	164.35
818	164.56
819.5	164.86
830	166.97
843	169.58
855.5	172.1
858	172.6
872	175.42
886.5	178.34
900.5	181.15
915	184.07
958.5	192.82
965	194.13
1000	201.17
1000.5	201.27
1002	201.57
1005	202.17
1015	204.19
1021	205.39
1045	210.22
1050	211.23
1051	211.43
1065	214.24
1090	219.27
1091	219.47
1100	221.28
1124	226.11
1134	228.12
1150	231.34
1154	232.15
1155	232.35
1156	232.55
1157	232.75
1158	232.95
1159	233.15
1160	233.35
1161	233.56
1162	233.76
1163	237.98
1243	250.05
1302	261.92
1308	263.13
1338	269.16
1373	276.2
1427	287.07
1480	297.73
1534	308.59
1588	319.45
1642	330.32
1696	341.18
1750	352.04
5621	1130.8

CONVERSION TABLE ADDED IN
 REGISTRAR GENERAL'S DEPARTMENT

DP 712 CONTINUED	
AC RD P	SQ M
- - 7	177
- - 32 1/4	815.7
- 1 -	1012
- 2 22 3/4	2599
- 2 28 3/4	2751
- 3 6 1/2	3200
- 3 14	3589
- 3 19	3516
- 3 22 3/4	3611
- 3 31 1/2	3832
1 - -	4047
1 - 1/4	4053
1 - 9 1/4	4281
1 - 21 1/4	4584
1 - 28	4755
1 - 38	5008
1 1 1 1/2	5096
1 1 10	5311
1 1 10 1/4	5318
1 1 13 3/4	5406
1 1 24 3/4	5685
1 1 36 1/2	5982
1 2 11 1/4	6355
1 2 16 3/4	6494
1 2 26 3/4	6747
1 2 32 1/2	6892
1 3 6 1/2	7246
1 3 7	7259
1 3 7 1/4	7265
1 3 14	7436
1 3 22	7638
1 3 37	8018
2 - -	8094
2 - 28 3/4	8821
2 - 29 1/4	8834
2 - 32	8903
2 - 32 1/4	8909
2 - 32 1/2	8916
2 - 32 3/4	8922
2 - 33 1/2	8941
2 - 34	8954
AC RD P	HA
2 2 -	1.012
2 2 3/4	1.1
2 2 36 3/4	1.1
2 3 4 1/4	1.124
2 3 7	1.13
3 - 4 1/4	1.225
3 - 7 1/4	1.232
4 - -	1.619
4 - 9 1/4	1.642
4 - 14	1.654
4 - 15	1.657
4 - 18 3/4	1.666
4 - 29	1.692
4 - 39 1/4	1.718
4 1 9 1/4	1.743
4 1 12	1.75
4 1 23 1/4	1.779
4 1 34 3/4	1.8
4 2 6	1.836
4 2 23 1/4	1.88
4 2 29 1/4	1.895
4 2 32	1.9
4 3 -	1.922
4 3 24	1.953
4 3 32	2.0
4 3 38	2.018
5 - -	2.023
5 - 2 3/4	2.03
5 - 3 1/2	2.032
5 - 3 3/4	2.033
5 - 4 1/4	2.034
5 - 4 3/4	2.035
5 - 5 1/2	2.037

CONVERSION TABLE ADDED IN
 REGISTRAR GENERAL'S DEPARTMENT

DP 712 CONTINUED	
AC RD P	HA
5 - 5 3/4	2.038
5 - 6 1/4	2.039
5 - 7	2.041
5 - 7 1/2	2.042
5 - 18 3/4	2.071
5 - 28 3/4	2.096
5 - 32	2.1
5 1 32 3/4	2.2
5 1 34 1/2	2.212
5 1 35 1/2	2.214
5 2 -	2.226
5 3 2 3/4	2.334
6 - 10 1/4	2.454
6 1 18	2.575
6 2 18 1/4	2.677
6 2 36 1/4	2.722
6 3 4 1/4	2.742
6 3 7	2.749
7 - -	2.833
7 1 2 3/4	2.941
7 2 5 1/2	3.049
7 3 8 3/4	3.158
8 - 12	3.268
8 1 15	3.376
8 2 9	3.462
8 2 18 1/4	3.486
11 1 10 1/4	4.579



CERTIFICATE OF TITLE

REAL PROPERTY ACT, 1900



15162189

NEW SOUTH WALES

First Title Old System
Prior Title Vol. 624 Fol. 203



Vol. 15162 Fol. 189
EDITION ISSUED 7 12 1983

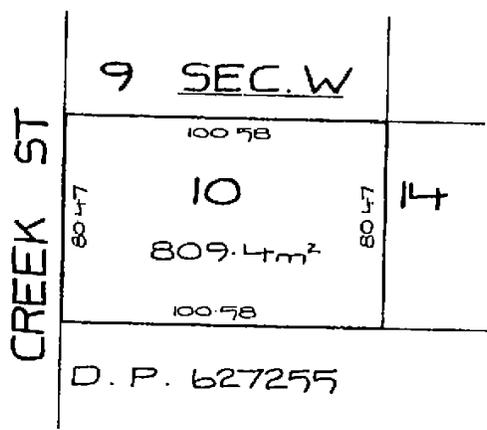
I certify that the person named in the First Schedule is the registered proprietor of an estate in fee simple (or such other estate or interest as is set out below) in the land described subject to the recordings appearing in the Second Schedule and to the provisions of the Real Property Act, 1900.

[Signature]
Registrar General.



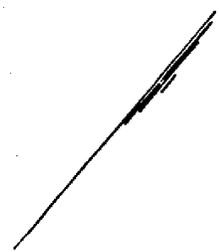
PLAN SHOWING LOCATION OF LAND

LENGTHS ARE IN METRES



CANCELLED

SEE AUTO FOLIO



T799126 *[Signature]*

LAND REFERRED TO

Lot 10 of Section W in Deposited Plan 712 at Riverstone in the City of Blacktown Parish of Gidley County of Cumberland.

FIRST SCHEDULE

JOHN RABIK.

SECOND SCHEDULE

1. Reservations and conditions in the Crown Grant.

PERSONS ARE CAUTIONED AGAINST ALTERING OR ADDING TO THIS CERTIFICATE OR ANY NOTIFICATION HEREON
(Page 1) Vol. 15162 Fol. 189

NOTE: ENTRIES RULED THROUGH AND AUTHENTICATED BY THE SEAL OF THE REGISTRAR GENERAL ARE CANCELLED

FIRST SCHEDULE (continued)
REGISTERED PROPRIETOR

Registrar General

CANCELLED
SEE AUTO FOLIO

SECOND SCHEDULE (continued)

PARTICULARS

Registrar General CANCELLATION

NOTATIONS AND UNREGISTERED DEALINGS



SEARCH DATE

14/7/2020 10:39AM

FOLIO: 10/W/712

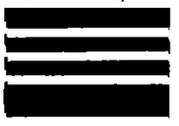
First Title(s): SEE PRIOR TITLE(S)

Prior Title(s): VOL 15162 FOL 189

Recorded	Number	Type of Instrument	C.T. Issue
9/8/1989		TITLE AUTOMATION PROJECT	LOT RECORDED FOLIO NOT CREATED
27/9/1989		CONVERTED TO COMPUTER FOLIO	FOLIO CREATED CT NOT ISSUED
29/1/1990	Y810515	TRANSMISSION APPLICATION	EDITION 1
13/2/1991	Z490694	TRANSFER	EDITION 2
12/8/1993	I558127	MORTGAGE	EDITION 3
11/4/1994	U170415	DISCHARGE OF MORTGAGE	
11/4/1994	U170416	TRANSFER	EDITION 4
15/11/1999	6344642	TRANSFER	EDITION 5
31/5/2017	AM435796	TRANSFER WITHOUT MONETARY CONSIDERATION	EDITION 6

*** END OF SEARCH ***

RP3 STAMP DUTY

Y810515

TRANSMISSION APPLICATION

SECTION 93, REAL PROPERTY ACT, 1900
 (See Instructions for Completion on back of form)

TA	CB	1 of 1	X
	\$	44	

R.11

DESCRIPTION OF LAND Note (a)	LAND of which deceased is registered proprietor	
	Torrens Title reference	If Part Only, Delete Whole and Give Details
	Volume 10106 Folio 32 <i>S/17360</i>	WHOLE
	Volume 15162 Folio 188 <i>9/W/712</i>	
	Volume 15162 Folio 189 <i>16/W/712</i>	
	Volume 15162 Folio 190 <i>14/W/712</i>	

REGISTERED DEALING Note (b)	LEASE, MORTGAGE, OR CHARGE of which deceased is registered proprietor		
	Type of Dealing	Registered Number	Torrens Title Reference
DECEASED REGISTERED PROPRIETOR Note (c)	JOHN RABIK		

Note (d) (the abovenamed DECEASED) is registered as proprietor of the land above described. The APPLICANT ~~abovementioned-registered-dealing.~~

APPLICANT Note (e)

SLAVKO RABIK of 7 Coobah Road East Kurrajong and ROSEMARIE McNALLY of 15 Carlton Street Riverstone	OFFICE USE ONLY JT2
---	------------------------

ENTITLEMENT Note (f) and (j) being entitled as Executors of the will/estate of the abovenamed deceased

Probate No. 8815256 of whose will was granted on 10th November 1988
 Letters of Administration No. ~~of whose estate were~~

to SLAVKO RABIK and ROSEMARIE McNALLY

Note (d) hereby applies to be registered as proprietor of the estate or interest of the said deceased in the land above described. ~~abovementioned-registered-dealing.~~

DATE 8th January 1990.
 Signed in my presence by the applicant ROSEMARIE McNALLY who is personally known to me:

I hereby certify this application to be correct for the purposes of the real Property Act, 1900.
 Signed in my presence by the applicant Slavko Rabik who is personally known to me.

Clayton Kester
 Signature of Witness

Henry's OFFICERS.
 Name of Witness (BLOCK LETTERS)

206 Old Cattle Hill Road Cattle Hill District
 Address and Occupation of Witness

R. McNally
ROSEMARIE McNALLY
 SOLICITOR PARRAMATTA

Slavko
 Signature of Applicant

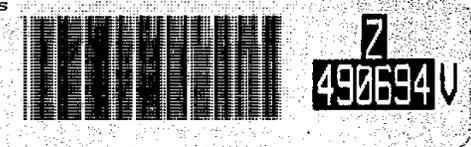
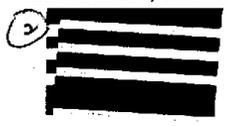
TO BE COMPLETED BY LODGING PARTY Notes (g) and (h)

LODGED BY FOLBIGG & FOLBIGG Solicitors — 835-7966 Box 248, P.O. Parramatta; DX8233 Parramatta Fax No. 689-3494 307V	PROBATE No. AND/OR OTHER DATE OF DEATH <i>Probate 8815256</i> <i>d.o.d. 6.2.88</i> <i>applied & returned 11.1.90.</i>		LOCATION OF DOCUMENTS Herewith.
	Delivery Box Number		In L.T.O. with
Checked <i>BF</i>	Passed	REGISTERED - -19	Produced by
Signed	Extra Fee	 29 JAN 1990	Secondary Directions
OFFICE USE ONLY		Delivery Directions CT 307V	

L = \$44

218

RP 13 STAMP DUTY



810-

TRANSFER
 REAL PROPERTY ACT, 1900

T	CB	1 of 1	X	R //
	\$	47		

DESCRIPTION OF LAND Note (a)

Torrens Title Reference	If Part Only, Delete Whole and Give Details	Location
Folio Identifier 10/W/712 14/W/712	WHOLE	Riverstone

TRANSFEROR Note (b)

SLAVKO RABIK and ROSEMARIE McNALLY

ESTATE Note (c)

(the abovenamed TRANSFEROR) hereby acknowledges receipt of the consideration of \$ pursuant to Order of the Supreme Court and transfers an estate in fee simple of New South Wales made 29th October, 1990 in the land above described to the TRANSFEREE

TRANSFEREE Note (d)

SLAVKO RABIK of Coobah Street East Kurrajong	OFFICE USE ONLY S
as joint tenants/tenants in common	

PRIOR ENCUMBRANCES Note (f)

subject to the following PRIOR ENCUMBRANCES 1.
 2.
 3.

DATE 8th November 1991.

We hereby certify this dealing to be correct for the purposes of the Real Property Act, 1900.

EXECUTION Note (g)

Signed in my presence by the transferor who is personally known to me

Slavko Rabik
 Signature of Witness
 MARY J CATHERAL

20/6 Old Castle Hill Road
 Address and occupation of Witness
 Castle Hill, Sydney

Slavko Rabik
 Signature of Transferor
 R. McNally

Signed in my presence by the transferee who is personally known to me

Slavko Rabik
 Signature of Witness
 MARY J CATHERAL

20/6 Old Castle Hill Road
 Address and occupation of Witness
 Castle Hill, Sydney

Slavko Rabik
 Signature of Transferee

TO BE COMPLETED BY LODGING PARTY Notes (h) and (i)

LODGED BY NORTHWOOD for A.R.B.		LOCATION OF DOCUMENTS	
Ref: Delivery Box Number 668L		CT	OTHER
		/	Herewith.
			In L.T.O. with
			Produced by
Checked <i>EM</i>	Passed	REGISTERED	- -19
Signed	Extra Fee	13 FEB 1992	
		Secondary Directions	
		Delivery Directions	CT 668L

OFFICE USE ONLY

EM

97-01T



TRANSFER

Real Property Act, 1900



U
170416 M



Handwritten scribbles

B

Office of State Revenue use only

ED/CFSTRSTW 40 4004 44444

(A) **LAND TRANSFERRED**

Show no more than 20 References to Title.
If appropriate, specify the share transferred.

FOLIO IDENTIFIER 10W/712

(B) **LODGED BY**

L.T.O. Box 605m	Name, Address or DX and Telephone LEGALITIES PTY. LTD DX 725 SYDNEY PH: 221 8888
REFERENCE (max. 15 characters): BARTON ADAMS	

(C) **TRANSFEROR**

SLAVKO RABIK

\$57,500.00

(D) acknowledges receipt of the consideration of
and as regards the land specified above transfers to the Transferee an estate in fee simple

(E) subject to the following **ENCUMBRANCES** 1. 2. 3.

(F) **TRANSFEEEE**

T	DOUBLE CHINA TRADING COMPANY PTY LTD ACN 056 615 859 of 64 Clarence Street, Sydney
	TENANCY:

(H) We certify this dealing correct for the purposes of the Real Property Act, 1900. **DATED**

Signed in my presence by the Transferor who is personally known to me.

D. Croese
Signature of Witness

DOROTHY CROESE
Name of Witness (BLOCK LETTERS)

124 PRINCES HWY BURRILL LAKE
Address of Witness

Slavko Rabik
Signature of Transferor

Signed in my presence by the Transferee who is personally known to

Signature of Witness

Name of Witness (BLOCK LETTERS)

Address of Witness

B. Adams
Signature of Transferee
Solicitor for B. ADAMS

CHECKED BY (office use only)

INSTRUCTIONS FOR FILLING OUT THIS FORM ARE AVAILABLE FROM THE LAND TITLES OFFICE

Licence: 10V/0096/96
Edition: 9804

TRANSFER
New South Wales
Real Property Act 1900



STAMP DUTY

Office of State Revenue use only	NEW SOUTH WALES DUTY 12-11-1999 0000153476-001 SECTION 18(2) DUTY \$ *****2.00
----------------------------------	---

(A) **TORRENS TITLE**

If appropriate, specify the part or share transferred
FOLIO IDENTIFIER 10/W/712

(B) **LODGED BY**

LTO Box	Name, Address or DX and Telephone	CODES
128V	John Phillip Vassallo Solicitor Reference (optional): Tonia U3780	T TS (s713) TW (Sheriff)

(C) **TRANSFEROR**

DOUBLE CHINA TRADING COMPANY PTY LTD

(D) The transferor acknowledges receipt of the consideration of \$ 30,000.00 and as regards the land specified above transfers to the transferee an estate in fee simple.

(E) Encumbrances (if applicable): 1. 2. 3.

(F) **TRANSFEEE**

WU DA QI and ZHANG MIN

TENANCY: Joint

(H) We certify this dealing correct for the purposes of the Real Property Act 1900. **DATE:** 25th October, 1999
Signed in my presence by the transferor who is personally known to me.

Signature of witness: *[Handwritten Signature]*

Name of witness: Helen Sin

Address of witness: Suite 403, 71-73 Archer Street, Chabwood 2067.

Signed in my presence by the transferee who is personally known to me.

Signature of transferor: *[Handwritten Signature]*



Signature of witness:

Name of witness:

Address of witness:

Solicitor for
~~Signature of transferee~~

If signed on the transferee's behalf by a solicitor or licensed conveyancer, show the signatory's full name and capacity below:
JOHN PHILLIP VASSALLO



FOLIO: 10/W/712

SEARCH DATE	TIME	EDITION NO	DATE
14/7/2020	10:17 AM	6	31/5/2017

LAND

LOT 10 OF SECTION W IN DEPOSITED PLAN 712
AT RIVERSTONE
LOCAL GOVERNMENT AREA BLACKTOWN
PARISH OF GIDLEY COUNTY OF CUMBERLAND
TITLE DIAGRAM DP712

FIRST SCHEDULE

MIN ZHANG

(TZ AM435796)

SECOND SCHEDULE (1 NOTIFICATION)

1 RESERVATIONS AND CONDITIONS IN THE CROWN GRANT(S)

NOTATIONS

UNREGISTERED DEALINGS: NIL

*** END OF SEARCH ***

APPENDIX C: AERIAL PHOTOGRAPH REPORT



LOTSEARCH

LOTSEARCH AERIALS

Date: 08 Jul 2020

Reference: LS013353 EA

**Address: Denmark Road, Carlton Street, Trevithick Street,
West Parade & Bridge Street, Riverstone, NSW 2765**

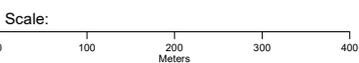
Aerial Imagery 2020

Denmark Road, Carlton Street, Trevithick Street, West Parade & Bridge Street,
Riverstone, NSW 2765



Legend

-  Site Boundary
-  Buffer 150m



Data Sources: Aerial Imagery © Aerometrex Pty Ltd

Coordinate System:
GDA 1994 MGA Zone 56

Date: 08 July 2020

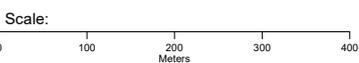
Aerial Imagery 2015

Denmark Road, Carlton Street, Trevithick Street, West Parade & Bridge Street,
Riverstone, NSW 2765



Legend

-  Site Boundary
-  Buffer 150m



Data Sources: Aerial Imagery © Aerometrex Pty Ltd

Coordinate System:
GDA 1994 MGA Zone 56

Date: 08 July 2020

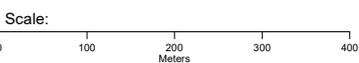
Aerial Imagery 2009

Denmark Road, Carlton Street, Trevithick Street, West Parade & Bridge Street,
Riverstone, NSW 2765



Legend

-  Site Boundary
-  Buffer 150m



Data Sources: Aerial Imagery © Aerometrex Pty Ltd

Coordinate System:
GDA 1994 MGA Zone 56

Date: 08 July 2020

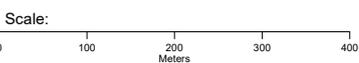
Aerial Imagery 2000

Denmark Road, Carlton Street, Trevithick Street, West Parade & Bridge Street,
Riverstone, NSW 2765



Legend

-  Site Boundary
-  Buffer 150m



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Coordinate System:
GDA 1994 MGA Zone 56

Date: 08 July 2020

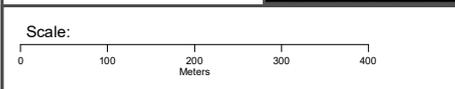
Aerial Imagery 1994

Denmark Road, Carlton Street, Trevithick Street, West Parade & Bridge Street,
Riverstone, NSW 2765



Legend

-  Site Boundary
-  Buffer150m



Data Source Aerial Imagery:
© NSW Department of Customer Service

Coordinate System:
GDA 1994 MGA Zone 56

Date: 07 July 2020

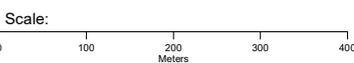
Aerial Imagery 1991

Denmark Road, Carlton Street, Trevithick Street, West Parade & Bridge Street,
Riverstone, NSW 2765



Legend

-  Site Boundary
-  Buffer 150m



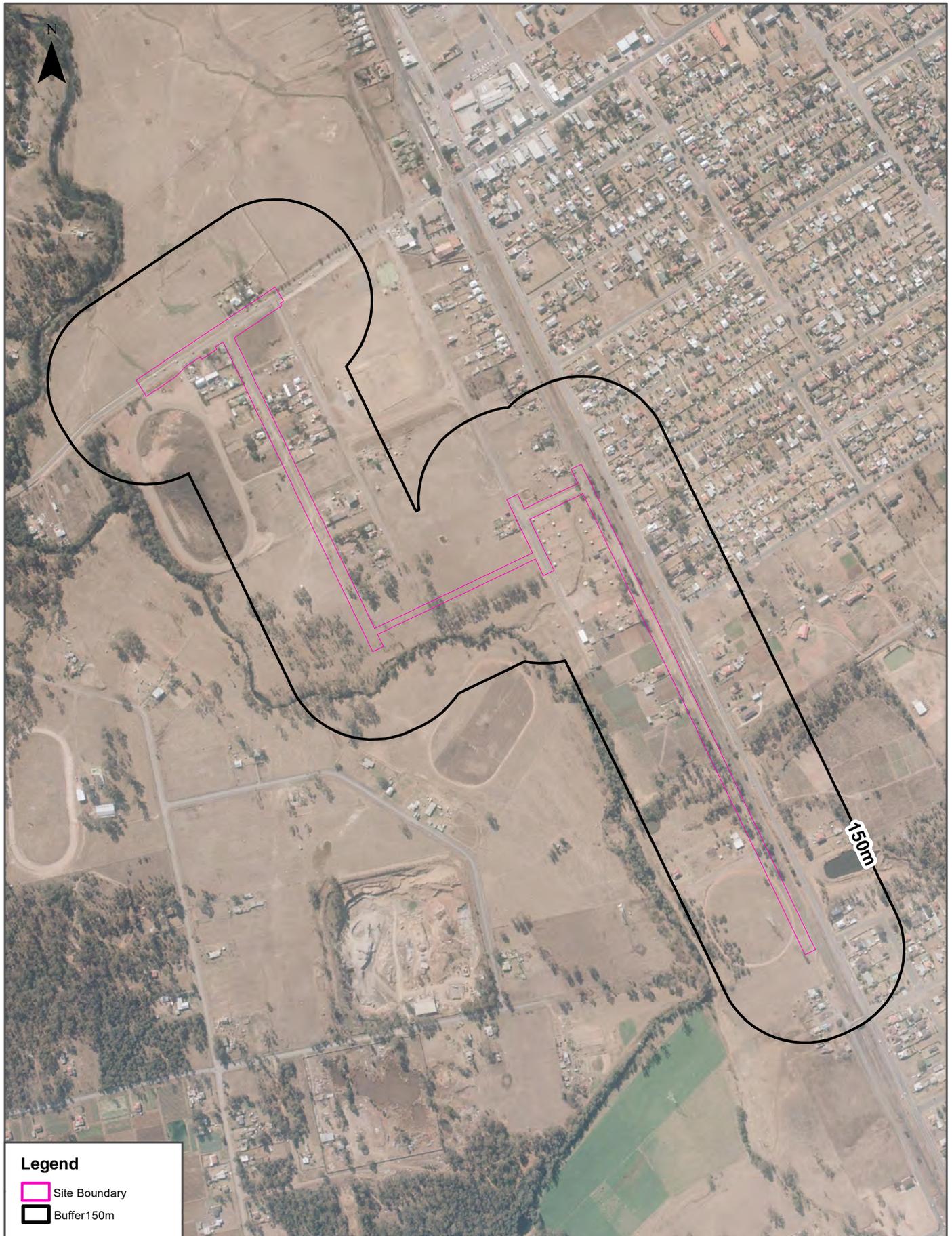
Data Source Aerial Imagery:
© NSW Department of Customer Service

Coordinate System:
GDA 1994 MGA Zone 56

Date: 08 July 2020

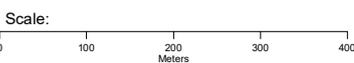
Aerial Imagery 1986

Denmark Road, Carlton Street, Trevithick Street, West Parade & Bridge Street,
Riverstone, NSW 2765



Legend

-  Site Boundary
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Data Source Aerial Imagery:
© NSW Department of Customer Service

Coordinate System:
GDA 1994 MGA Zone 56

Date: 07 July 2020

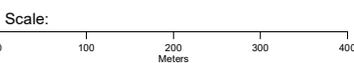
Aerial Imagery 1982

Denmark Road, Carlton Street, Trevithick Street, West Parade & Bridge Street,
Riverstone, NSW 2765



Legend

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-  Buffer 150m



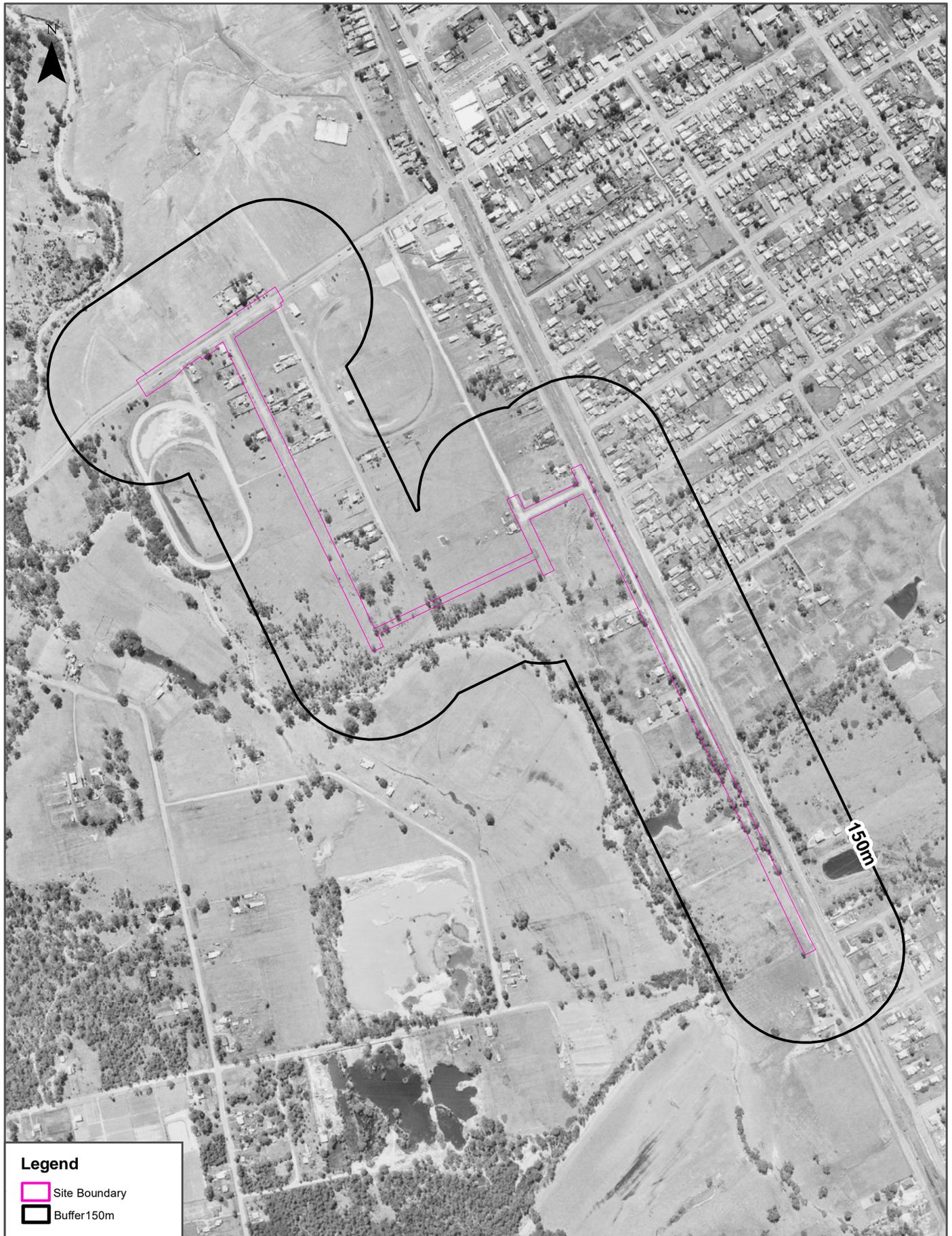
Data Source Aerial Imagery:
© NSW Department of Customer Service

Coordinate System:
GDA 1994 MGA Zone 56

Date: 08 July 2020

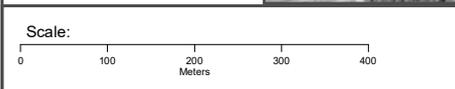
Aerial Imagery 1978

Denmark Road, Carlton Street, Trevithick Street, West Parade & Bridge Street,
Riverstone, NSW 2765



Legend

-  Site Boundary
-  Buffer150m



Data Source Aerial Imagery:
© NSW Department of Customer Service

Coordinate System:
GDA 1994 MGA Zone 56

Date: 07 July 2020

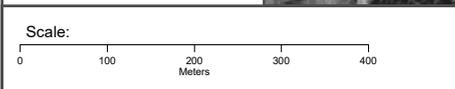
Aerial Imagery 1970

Denmark Road, Carlton Street, Trevithick Street, West Parade & Bridge Street,
Riverstone, NSW 2765



Legend

- Site Boundary
- Buffer 150m



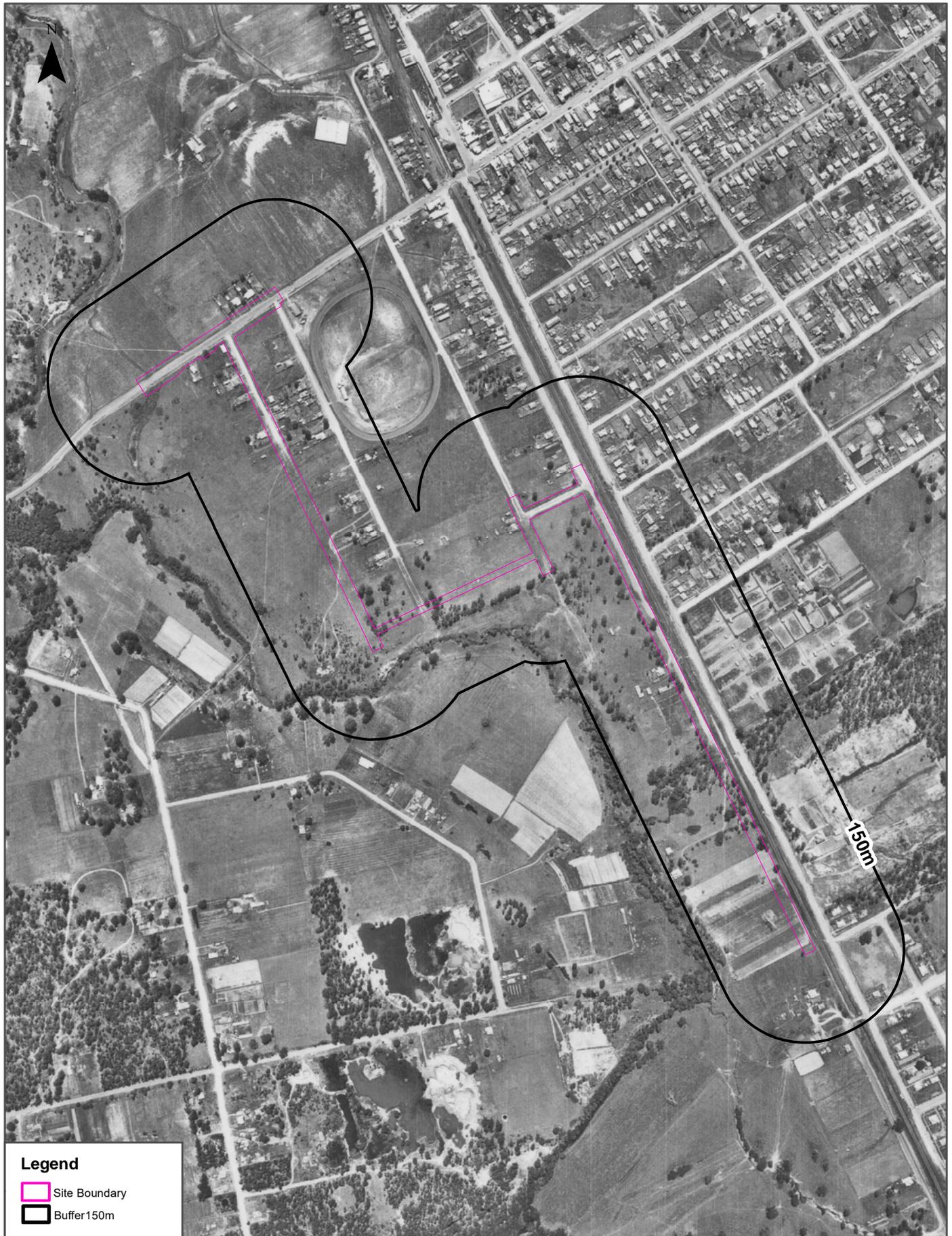
Data Source Aerial Imagery:
© NSW Department of Customer Service

Coordinate System:
GDA 1994 MGA Zone 56

Date: 08 July 2020

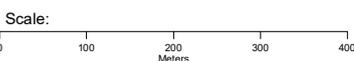
Aerial Imagery 1965

Denmark Road, Carlton Street, Trevithick Street, West Parade & Bridge Street,
Riverstone, NSW 2765



Legend

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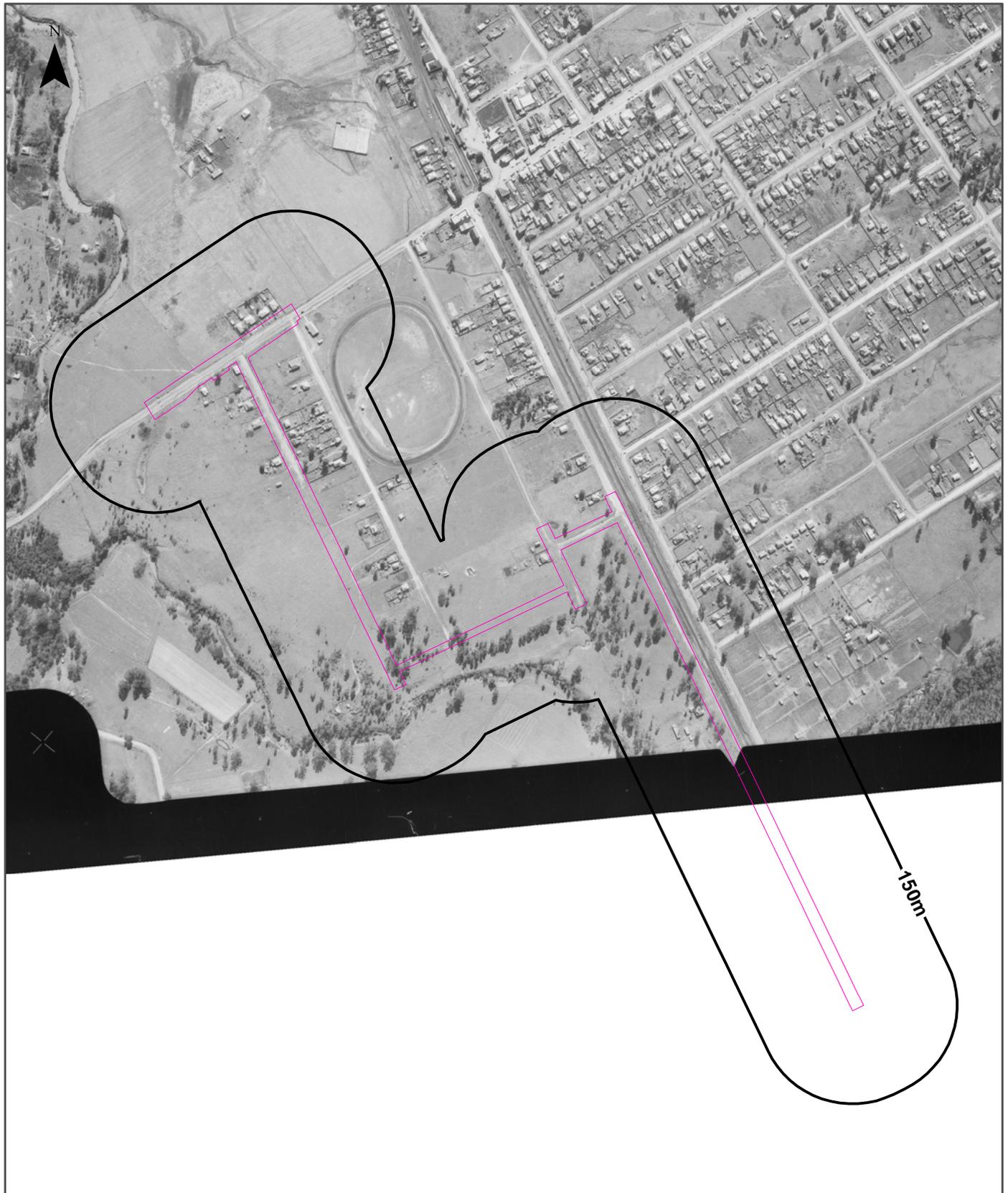
Data Source Aerial Imagery:
© NSW Department of Customer Service

Coordinate System:
GDA 1994 MGA Zone 56

Date: 07 July 2020

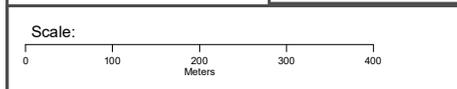
Aerial Imagery 1961

Denmark Road, Carlton Street, Trevithick Street, West Parade & Bridge Street,
Riverstone, NSW 2765



Legend

- Site Boundary
- Buffer150m



Data Source Aerial Imagery:
© NSW Department of Customer Service

Coordinate System:
GDA 1994 MGA Zone 56

Date: 07 July 2020

Aerial Imagery 1961

Denmark Road, Carlton Street, Trevithick Street, West Parade & Bridge Street,
Riverstone, NSW 2765



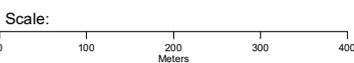
Aerial Imagery 1955

Denmark Road, Carlton Street, Trevithick Street, West Parade & Bridge Street,
Riverstone, NSW 2765



Legend

-  Site Boundary
-  Buffer150m



Data Source Aerial Imagery:
© NSW Department of Customer Service

Coordinate System:
GDA 1994 MGA Zone 56

Date: 07 July 2020

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 - (h) the Report does not include any information relating to the actual state or condition of the Property;
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 - (j) the Report should not be relied upon for determining saleability or value or making any other decisions in relation to the Property and in particular should not be taken to be a rating or assessment of the desirability or market value of the property or its features; and
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 - (c) releases each Third Party Content Supplier from any claim it may have otherwise had in connection with the Report, or the negotiation of, entry into, performance of, or termination of these Terms.
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 - (b) any loss of profit, loss of revenue, loss of interest, loss of data, loss of goodwill or loss of business opportunities, business interruption arising directly or indirectly out of or in relation to the Report or these Terms,irrespective of how that liability arises including in contract or tort, liability under indemnity or for any other common law, equitable or statutory cause of action or otherwise.
 12. These Terms are subject to New South Wales law.

APPENDIX D: SECTION 10.7 PLANNING CERTIFICATES

Applicant Details

Your reference N3718

D HAZMAT SERVICES C/- DAMIEN HENDRICKX
LEVEL 1, 45C FITZROY STREET
CARRINGTON NSW 2294

Certificate Details

Certificate no.	PL2020/08536	Fee: \$133.00
Date issued	06 July 2020	Urgency fee: N/A
Receipt no.	ePay Ref 89675	

Property information

Property ID	117538	Land ID	117538
Legal description	LOT 5 DP 523809		
Address	80 WEST PARADE RIVERSTONE NSW 2765		
County	CUMBERLAND	Parish	GIDLEY

PLANNING CERTIFICATE (Section 10.7(2 & 5))

Blacktown City Council prepared this Planning Certificate under Section 10.7 of the *Environmental Planning and Assessment Act 1979*. The form and content of the Certificate is consistent with *Environmental Planning and Assessment Regulation 2000*.

Disclaimer

Blacktown City Council gives notice and points out to all users of the information supplied herein, that the information herein has been compiled by Council from sources outside of Council's control. While the information herein is provided with all due care and in good faith, it is provided on the basis that Council will not accept any responsibility for and will not be liable for its contents or for any consequence arising from its use, and every user of such information is advised to make all necessary enquiries from the appropriate organisations, institutions and the like. Blacktown City Council also gives notice to all users of the information supplied herein, wherever any particular enquiry herein remains unanswered or has not been elaborated upon, such silence should not be interpreted as meaning or inferring either a negative or a positive response as the case may be.

Section 10.7(2)

The following information is provided under Section 10.7(2) of the *Environmental Planning and Assessment Act 1979*. The information relates to the subject land at the date of this Certificate.

1. Names of relevant planning instruments and development control plans

1.1 Environmental Planning Instrument

Blacktown Local Environmental Plan 2015 applies to the subject land.

1.2 Proposed Local Environmental Plans

Not applicable.

1.3 Other Applicable State Environmental Planning Policies

Attachment 1 contains a list of State Environmental Planning Policies that may apply to the carrying out of development on the subject land.

1.4 Proposed State Environmental Planning Policies

The subject land is affected by proposed amendments to *State Environmental Planning Policy (Sydney Region Growth Centres) 2006* - Appendix 12 to introduce new planning controls for the West Schofields Precinct. The intended effect of the new planning controls is to rezone the West Schofields Precinct for primarily residential, business, open space, community and infrastructure purposes. For further information refer to <https://www.planning.nsw.gov.au/Plans-for-your-area/Priority-Growth-Areas-and-Precincts/West-Schofields>

1.5 Development control plans

Blacktown Development Control Plan 2015 applies to the subject land.

2. Zoning and land use under relevant environmental planning instruments

The following information will assist in determining how the subject land may be developed. It is recommended that you read this section in conjunction with a full copy of any relevant environmental planning instrument as there may be additional provisions that affect how the land may be developed.

2.1 Zoning

Under *Blacktown Local Environmental Plan 2015*, the land is zoned:

Zone RU4 Primary Production Small Lots

The following is an extract from *Blacktown Local Environmental Plan 2015* outlining the types of development that may or may not be carried out in the above zone

1 Objectives of zone

- *To enable sustainable primary industry and other compatible land uses.*
- *To encourage and promote diversity and employment opportunities in relation to primary industry enterprises, particularly those that require smaller lots or that are more intensive in nature.*
- *To minimise conflict between land uses within this zone and land uses within adjoining zones.*
- *To ensure that development does not prejudice the orderly and economic development of future urban land.*
- *To ensure that development is sympathetic to the ecological attributes of the area.*

2 Permitted without consent

Home occupations

3 Permitted with consent

Agricultural produce industries; Aquaculture; Bed and breakfast accommodation; Building identification signs; Business identification signs; Cemeteries; Community facilities; Crematoria; Dwelling houses; Environmental facilities; Environmental protection works; Extensive agriculture; Farm buildings; Flood mitigation works; Heliports; Home businesses; Home industries; Intensive plant agriculture; Landscaping material supplies; Places of public worship; Plant nurseries; Recreation facilities (outdoor); Roads; Roadside stalls; Veterinary hospitals; Water reticulation systems

4 Prohibited

Agriculture; Any other development not specified in item 2 or 3

2.2 Minimum land dimensions for the erection of a dwelling house

Not applicable

2.3 Critical habitat

The land does not include or comprise a critical habitat.

Note: Critical habitat registers are kept by the National Parks and Wildlife Service under the *Threatened Species Conservation Act 1995* and the Department of Fisheries under the *Fisheries Management Act 1994*.

2.4 Conservation areas

The land is not within a conservation area.

2.5 Environmental Heritage

The land does not contain an item of environmental heritage under the protection of Blacktown Local Environmental Plan 2015

3. Complying development

Complying development may or may not be carried out on the subject land under an Environmental Planning Policy. Council does not have sufficient information to determine the extent to which specific complying development may or may not be carried out.

4. Coastal protection

The subject land is not affected by the operation of Sections 38 or 39 of the *Coastal Protection Act, 1979*.

5. Mine subsidence

The subject land has not been proclaimed to be a mine subsidence district within the meaning of Section 15 of the *Mine Subsidence Compensation Act 1961*.

6. Road widening and road realignment

The subject land is not affected by road widening or road realignment under an environmental planning instrument.

7. Council and other public authority policies on hazard risk restrictions

7.1 Contaminated Lands Policy and Asbestos Policy Schedule 6

Council has adopted a Contaminated Lands Policy and an Asbestos Policy which may restrict development on the subject land.

The Land Contamination Policy applies when zoning or land use changes are proposed on land which has previously been used for certain purposes or has the potential to be affected by such purposes undertaken on nearby lands. The Asbestos Policy applies where land contains, or is likely to have contained in the past, buildings or structures that were erected prior to the banning of asbestos. Both policies should be considered in the context of relevant State legislation and guidelines.

Council's records may not be sufficient to determine all previous uses on the land, or determine activities that may have taken place on this land.

7.2 Other policies on hazard risk restrictions

Council has not adopted any other policies to restrict the development of the subject land by reason of the likelihood of landslip, bushfire, tidal inundation, subsidence or the occurrence of acid sulphate soils.

Note: Although Council has not adopted a specific policy to restrict development bushfire prone land, it is bound by state-wide bushfire legislation that may restrict development on the subject land. Additional information relating to bushfire prone land is provided at point 11 below.

7a. Flood related development controls information

There are currently no mainstream or backwater flood-related development controls adopted by Council that apply to the land subject to this Certificate

This lot is shown flood prone on mapping provided by the Department of Planning. The investigation for this area has not been completed and all enquiries should be directed to the Department of Planning. Flood related development controls for this lot are provided in the Development Control Plan for this area, prepared by the Department of Planning. Where development is proposed within or adjacent to land that is shown on the Flood Prone Land figure as being affected by the 1% AEP level, Council may require a more detailed flood study to be undertaken by the applicant to confirm the extent on the flood affectation on that land.

Council has adopted a Floodplain Management Policy which may restrict the development of the land subject to this Certificate, including development for the purposes of dwelling houses, dual occupancies, multi-dwelling housing, residential flat buildings and any other purpose that requires the placement or erection of any structure on the land. The Flood Risk Precinct Maps prepared under the policy are based on the results of Engineering Flood Studies commissioned by Government Authorities and Council. These maps indicate that the land subject to this Certificate lies partly or wholly within the High Flood Risk Precinct. The term High Flood Risk Precinct is defined as the area of land below the 100-year flood event that is either subject to a high hydraulic hazard or where there are significant evacuation difficulties. Further details are provided in the NSW Government's Floodplain Development Manual and are available from Council. Council does not warrant that the information provided or made available to you is complete. Council strongly recommends that, in all cases, you seek independent professional advice to supplement your enquiries.

Council has adopted a Floodplain Management Policy which may restrict the development of the land subject to this Certificate, including development for the purposes of dwelling houses, dual occupancies, multi-dwelling housing, residential flat buildings and any other purpose that requires the placement or erection of any structure on the land. The Flood Risk Precinct Maps prepared under the policy are based on the results of Engineering Flood Studies commissioned by Government Authorities and Council. These maps indicate that the land subject to this Certificate lies partly or wholly within the Medium Flood Risk Precinct. The term Medium Flood Risk Precinct is defined as land below the 100-year flood level that

is not within a High Flood Risk Precinct. This is land that is not subject to a high hydraulic hazard or where there are no significant evacuation difficulties. Further details are provided in the NSW Government's Floodplain Development Manual and are available from Council. Council does not warrant that the information provided or made available to you is complete. Council strongly recommends that, in all cases, you seek independent professional advice to supplement your enquiries.

8. Land reserved for acquisition

Blacktown Local Environmental Plan 2015 makes provision for land included on the Land Reservation Acquisition Map to be acquired by a public authority.

9. Contributions plans

Council currently levies contributions under Section 7.11 of the *Environmental Planning & Assessment Act 1979* for facilities and services. The further development of the subject land may incur such contributions.

9a. Biodiversity certified land

The land is biodiversity certified land as defined by Part 7AA of the *Threatened Species Conservation Act 1995*.

10. Biobanking agreements

The land is not subject to any biobanking agreement under Part 7A of the *Threatened Species Conservation Act 1995*.

11. Bushfire prone land

The Rural Fires and Environmental Assessment Legislation Amendment Act 2002, which came into force on 1 August 2002, introduced development provisions for bush fire prone land as shown on a Bush Fire Prone Land Map. "Bush fire prone land" is land that has been designated by the Commissioner of the NSW Rural Fire Service as being bush fire prone due to characteristics of vegetation and topography. The land the subject of this certificate has been identified on Council's Bush Fire Prone Land Map as being:

Clear of any bush fire prone land

On land that is bush fire prone, certain development may require further consideration under Section 4.14 or Section 4.46 of the *Environmental Planning & Assessment Act 1979* and under Section 100B of the *Rural Fires Act 1997*.

12. Property vegetation plans

The subject land is not affected by a property vegetation plan under the *Native Vegetation Act 2003*. The Blacktown local government area is excluded from the operation of the *Native Vegetation Act 2003* (refer Schedule 1 Part 3 of that Act).

13. Orders under *Trees (Disputes Between Neighbours) Act 2006*

No. Council has not been notified of any order made under the *Trees (Disputes Between Neighbours) Act 2006* in relation to the subject land.

14. Site compatibility certificates and conditions for seniors housing

Land to which this Certificate applies is not subject to the above.

15. Site compatibility certificates for infrastructure

Land to which this Certificate applies is not subject to the above.

16. Site compatibility certificates and conditions for affordable rental housing

Land to which this Certificate applies is not subject to the above.

17. Paper subdivision information

Not applicable

18. Site verification certificates

Council is not aware of any site verification certificate applying to the subject land.

Under the *Contaminated Land Management Act 1997* and *Contaminated Land Management Amendment Act 2008*

- (a) The land to which this certificate relates has not been declared to be significantly contaminated land at the date when the certificate was issued
- (b) The land to which the certificate relates is not subject to a management order at the date when the certificate was issued
- (c) The land to which this certificate relates is not the subject of an approved voluntary management proposal at the date when the certificate was issued
- (d) The land to which this certificate relates is not subject to an ongoing maintenance order as at the date when the certificate was issued
- (e) The land to which this certificate relates is not the subject of a site audit statement provided to the Council.

19. Affected building notices and building product rectification orders

19.1 Affected building notices

Council is not aware of any affected building notice in force for the subject land.

19.2 Building product rectification orders

- (a) Council is not aware of any building product rectification order in force for the subject land.
- (b) Council is not aware of any notice of intention to make a building product rectification order being given for the subject land.

Section 10.7(5)

The following information is provided under Section 10.7(5) of the *Environmental Planning & Assessment Act 1979*. As per section 10.7(6) of the Act, Council shall not incur any liability in respect of any advice provided in good faith under section 10.7(5). The absence of any reference to any matter affecting the land shall not imply that the land is not affected by any matter not referred to in this Certificate.

Planning Instruments and Covenants

The provisions of any covenant, agreement or instrument applying to this land that restrict or prohibit certain development may be inconsistent with the provisions of an environmental planning instrument. In such cases, the provisions of any such covenant, agreement or instrument may be overridden.

Loose-filled Asbestos Insulation

Some residential homes located in the Blacktown Local Government Area may potentially contain loose-fill asbestos insulation, for example in the roof space. NSW Fair Trading maintains a Register of homes that are affected by loose-fill asbestos insulation.

You should make your own enquiries as to the age of the buildings on the land to which this certificate relates and, if it contains a building constructed prior to 1980, the council strongly recommends that any potential purchaser obtain advice from a licensed asbestos assessor to determine whether loose-fill asbestos is present in any building on the land and, if so, the health risks (if any) this may pose for the building's occupants.

Contact NSW Fair Trading for further information

Biodiversity and Threatened Species Conservation

The land is affected by a tree preservation control under Clause 5.9 of the Blacktown Local Environmental Plan 2015. A person shall not ringbark, cut down, lop, top, remove, injure or wilfully destroy any tree, or cause any tree to be ringbarked, cut down, topped, lopped, injured or wilfully destroyed, except with the consent of the Council.

The provisions of any covenant, agreement or instrument applying to this land purporting to restrict or prohibit certain development may be inconsistent with the provisions of a Regional Environmental Plan, State Environmental Planning Policy or Blacktown Local Environmental Plan 2015, in which case the provisions of any such covenant, agreement or instrument may be overridden.

The *Threatened Species Conservation Act 1995* provides for the conservation of threatened species, populations and ecological communities of animals and plants.



The *Environment Protection and Biodiversity Conservation Act 1999* provides protection for items of national significance. Items of national environmental significance include nationally threatened animal and plant species and ecological communities.

The Act requires a separate Commonwealth approval to be obtained where an action is likely to have significant impacts on items of national environmental significance.

For further information on this matter, please contact the Australian Government's Department of the Environment.

This land may contain an Aboriginal archaeological site under the protection of the National Parks and Wildlife Service Act, 1974. Before any development can proceed in an area known to contain Aboriginal archaeological sites, a consent to destroy must be obtained from the Director of the National Parks and Wildlife Service.

Attachment 1 – State Environmental Planning Policies

In addition to the principal environmental planning instrument identified in section 2.1 of this Certificate, the following State Environmental Planning Policies may also affect development on the subject land.

SEPP (Affordable Rental Housing) 2009

This policy aims to facilitate the increased supply and diversity of affordable rental and social housing in NSW and covers housing types including in-fill affordable housing, along with secondary dwellings (granny flats), boarding houses, group homes, social housing and supportive accommodation. Part 3 of the policy provides for the retention of existing affordable rental housing stock. Development applications to demolish, alter or add, change the use of, or strata subdivide existing low cost rental dwellings may require a contribution towards the provision of alternative affordable housing.

SEPP (Building Sustainability Index: BASIX) 2004

This policy aims to ensure consistency in the implementation of the BASIX scheme throughout the State by overriding provisions of other environmental planning instruments and development control plans that would otherwise add to, subtract from or modify any obligations arising under the BASIX scheme.

SEPP (Exempt and Complying Development Codes) 2008

This policy is also known as the Codes SEPP and includes a number of Codes that allow for certain types of development to be undertaken without the need for council approval as either Exempt Development or approved under a fast track system known as Complying Development, if the relevant standards are met.

SEPP (Sydney Region Growth Centres) 2006

This policy provides for the coordinated release of land for residential, employment and other urban development in the North West Growth Centre, the South West Growth Centre and the Wilton Growth Area. It provides development controls to enable the establishment of vibrant, sustainable and liveable neighbourhoods that provide for community well-being and high quality local amenity.

SEPP (Housing for Seniors or People with a Disability) 2004

This policy is also known as Seniors Housing SEPP and encourages the development of high quality and well-designed housing for older people and people with disabilities, while ensuring that it is in keeping with neighbourhood character. In October 2018, an amendment was made to change some

rules for site compatibility certificates and to make the relevant planning panel the determining authority for site compatibility certificates issued under the Seniors Housing SEPP.

SEPP (Infrastructure) 2007

This policy assists the NSW Government, private infrastructure providers, local councils and the communities they support by simplifying the process for providing infrastructure like hospitals, roads, railways, emergency services, water supply and electricity delivery, while ensuring appropriate levels of environmental assessment and consultation are undertaken. Recent changes introduce new provisions for correctional services, emergency and police services facilities and bushfire hazard reduction, ports and roads infrastructure, including facilities for electric vehicles, and other operational and housekeeping improvements.

SEPP (Miscellaneous Consent Provisions) 2007

This policy contains provisions for the erection of temporary structures, subdivision, the demolition of a building or work, certain change of use and fire alarm communication links.

SEPP (State Significant Precincts) 2005

The purpose of this Policy is to facilitate the development, redevelopment or protection of important urban, coastal and regional sites of economic, environmental or social significance to the State so as to facilitate the orderly use, development or conservation of those State significant precincts for the benefit of the State. It also aims to facilitate service delivery outcomes for a range of public services and to provide for the development of major sites for a public purpose or redevelopment of major sites no longer appropriate or suitable for public purposes.

SEPP (Mining, Petroleum Production and Extractive Industries) 2007

This policy is also known as the Mining SEPP and governs the way that mining, petroleum production and extractive material resource proposals are assessed and developed in NSW.

SEPP No 1 - Development Standards

This policy provides flexibility in the application of development standards and allows Council to approve a development that does not comply with a development standard where it can be shown that the development standard is unreasonable or unnecessary.

SEPP No 19 - Bushland in Urban Areas

This policy protects and preserves bushland within urban areas because of its natural heritage, its aesthetic value and its value for recreational, educational or scientific purposes. The policy aims to protect bushland areas in public open space zones and reservations and ensures that bushland

preservation is given priority when local environmental plans are prepared.

SEPP No 21 - Caravan Parks

This policy applies to development for the purpose of caravan parks and camping grounds. The policy ensures that development consent is required for new caravan parks and camping grounds and for additional long term sites in existing caravan parks. It also requires that development consent be obtained from Council for the subdivision of land for lease purposes under the Local Government Act.

SEPP No. 30 - Intensive Agriculture

Requires development consent for cattle feedlots having a capacity of 50 or more cattle or piggeries having a capacity of 200 or more pigs. The policy sets out information and public notification requirements to ensure there are effective planning control over this export-driven rural industry. The policy does not alter if, and where, such development is permitted, or the functions of the consent authority.

SEPP No. 32 - Urban Consolidation

States the Government's intention to ensure that urban consolidation objectives are met in all urban areas throughout the State. The policy focuses on the redevelopment of urban land that is no longer required for the purpose it is currently zoned or used, and encourages local councils to pursue their own urban consolidation strategies to help implement the aims and objectives of the policy. Councils will continue to be responsible for the majority of rezonings. The policy sets out guidelines for the Minister to follow when considering whether to initiate a regional environmental plan (REP) to make particular sites available for consolidated urban redevelopment. Where a site is rezoned by an REP, the Minister will be the consent authority.

SEPP No 33 - Hazardous and Offensive Development

This policy applies to development defined as 'potentially hazardous industry' or 'potentially offensive industry'. The policy ensures that in determining whether a development is a hazardous or offensive industry, any measures proposed to be employed to reduce the impact of the development are taken into account.

SEPP No 55 - Remediation of Land

This policy promotes the remediation of contaminated land for the purpose of reducing risk of harm to human health. The policy includes considerations that are relevant in rezoning land and in determining development applications where remediation of land is required.

SEPP No. 62 - Sustainable Aquaculture

Encourages the sustainable expansion of the industry in NSW. The policy implements the regional strategies already developed by creating a simple approach to identify and categorise aquaculture development on the basis of its potential environmental impact. The SEPP also identifies aquaculture development as a designated development only where there are potential environmental risks.

SEPP No 64 - Advertising and Signage

This policy sets out planning controls for advertising and signage in NSW and requires signage to be compatible with the future character of an area, provide effective communication in suitable locations and be of high quality design and finish. The policy also bans advertisements on parked trailers on roads, road shoulders, footpaths and nature strips, excluding advertising associated with the primary use of the trailer.

SEPP No 65 - Design Quality of Residential Apartment Development

This policy aims to improve the design quality of residential apartment development through the application of 9 design quality principles. The policy also provides requirements for a constituted design review panel to provide independent expert advice to council on the merit of residential flat developments. A design review panel is not mandatory.

Sydney Regional Environmental Plan No 30 - St Marys

This plan provides the planning framework for the planning and development of land known as Australian Defence Industries (ADI) site at St Marys.

SEPP (Western Sydney Employment Area) 2009

This policy aims to protect and enhance land in the Western Sydney Employment Area for employment purposes and to promote economic development and the creations of employment opportunities in Western Sydney. The policy provides for a coordinated approach to the planning, development and rezoning of land within the Western Sydney Employment Area and includes controls to ensure that development occurs in a logical, environmentally sensitive and cost-effective manner.

SEPP (Western Sydney Parklands) 2009

This policy provides the framework to enable the Western Sydney Parklands Trust to develop the Western Parklands into a multi-use urban parkland to meet a range of community needs and interests, including those that promote health and well-being in the community for Western Sydney.

SEPP (Western Sydney Recreation Area)

This policy enables development to be carried out for recreational, sporting and cultural purposes within the Western Sydney Recreation Area, including the development of a recreation area of state significance.

Attachment 2**Draft West Schofields Precinct Plan****Proposed Land Use Table****Proposed Zone: E2 Environmental Conservation****1 Objectives of zone**

- To protect, manage and restore areas of high ecological, scientific, cultural or aesthetic values.
- To prevent development that could destroy, damage or otherwise have an adverse effect on those values.

2 Permitted without consent

Nil

3 Permitted with consent

Drainage; Earthworks; Environmental facilities; Environmental protection works; Flood mitigation works; Information and education facilities; Kiosks; Recreation areas; Roads; Signage; Waterbodies (artificial)

4 Prohibited

Any development not specified in item 2 or 3

Draft West Schofields Precinct Plan**Proposed Land Use Table****Proposed Zone: RU6 Transition****1 Objectives of zone**

- To protect and maintain land that provides a transition between rural and other land uses of varying intensities or environmental sensitivities.
- To minimise conflict between land uses within this zone and land uses within adjoining zones.

2 Permitted without consent

Home occupations; Roads

3 Permitted with consent

Agricultural produce industries; Aquaculture; Building identification signs; Business identification signs; Cemeteries; Environmental facilities; Environmental protection works; Extensive agriculture; Farm buildings; Flood mitigation works; Intensive plant agriculture; Landscaping material supplies; Plant nurseries; Recreation areas; Recreation facilities (outdoor); Roads; Roadside stalls; Water supply systems

4 Prohibited

Any development not specified in item 2 or 3

Authorised by Blacktown City Council
Proforma ID: 812190

End of Certificate

Applicant Details

Your reference N3718-LOT 10

HAZMAT SERVICES C/- DAMIEN HENDRICKX
LEVEL 1, 45C FITZROY STREET
CARRINGTON NSW 2294

Certificate Details

Certificate no.	PL2020/08537	Fee: \$133.00
Date issued	06 July 2020	Urgency fee: N/A
Receipt no.	ePay Ref 89677	

Property information

Property ID	117560	Land ID	117560
Legal description	LOT 10 SEC W DP 712		
Address	CREEK STREET RIVERSTONE NSW 2765		
County	CUMBERLAND	Parish	GIDLEY

PLANNING CERTIFICATE (Section 10.7(2 & 5))

Blacktown City Council prepared this Planning Certificate under Section 10.7 of the *Environmental Planning and Assessment Act 1979*. The form and content of the Certificate is consistent with *Environmental Planning and Assessment Regulation 2000*.

Disclaimer

Blacktown City Council gives notice and points out to all users of the information supplied herein, that the information herein has been compiled by Council from sources outside of Council's control. While the information herein is provided with all due care and in good faith, it is provided on the basis that Council will not accept any responsibility for and will not be liable for its contents or for any consequence arising from its use, and every user of such information is advised to make all necessary enquiries from the appropriate organisations, institutions and the like. Blacktown City Council also gives notice to all users of the information supplied herein, wherever any particular enquiry herein remains unanswered or has not been elaborated upon, such silence should not be interpreted as meaning or inferring either a negative or a positive response as the case may be.

Section 10.7(2)

The following information is provided under Section 10.7(2) of the *Environmental Planning and Assessment Act 1979*. The information relates to the subject land at the date of this Certificate.

1. Names of relevant planning instruments and development control plans

1.1 Environmental Planning Instrument

Blacktown Local Environmental Plan 2015 applies to the subject land.

1.2 Proposed Local Environmental Plans

Not applicable.

1.3 Other Applicable State Environmental Planning Policies

Attachment 1 contains a list of State Environmental Planning Policies that may apply to the carrying out of development on the subject land.

1.4 Proposed State Environmental Planning Policies

The subject land is affected by proposed amendments to *State Environmental Planning Policy (Sydney Region Growth Centres) 2006* - Appendix 12 to introduce new planning controls for the West Schofields Precinct. The intended effect of the new planning controls is to rezone the West Schofields Precinct for primarily residential, business, open space, community and infrastructure purposes. For further information refer to <https://www.planning.nsw.gov.au/Plans-for-your-area/Priority-Growth-Areas-and-Precincts/West-Schofields>

1.5 Development control plans

Blacktown Development Control Plan 2015 applies to the subject land.

2. Zoning and land use under relevant environmental planning instruments

The following information will assist in determining how the subject land may be developed. It is recommended that you read this section in conjunction with a full copy of any relevant environmental planning instrument as there may be additional provisions that affect how the land may be developed.

2.1 Zoning

Under *Blacktown Local Environmental Plan 2015*, the land is zoned:

Zone RU4 Primary Production Small Lots

The following is an extract from *Blacktown Local Environmental Plan 2015* outlining the types of development that may or may not be carried out in the above zone

1 Objectives of zone

- *To enable sustainable primary industry and other compatible land uses.*
- *To encourage and promote diversity and employment opportunities in relation to primary industry enterprises, particularly those that require smaller lots or that are more intensive in nature.*
- *To minimise conflict between land uses within this zone and land uses within adjoining zones.*
- *To ensure that development does not prejudice the orderly and economic development of future urban land.*
- *To ensure that development is sympathetic to the ecological attributes of the area.*

2 Permitted without consent

Home occupations

3 Permitted with consent

Agricultural produce industries; Aquaculture; Bed and breakfast accommodation; Building identification signs; Business identification signs; Cemeteries; Community facilities; Crematoria; Dwelling houses; Environmental facilities; Environmental protection works; Extensive agriculture; Farm buildings; Flood mitigation works; Heliports; Home businesses; Home industries; Intensive plant agriculture; Landscaping material supplies; Places of public worship; Plant nurseries; Recreation facilities (outdoor); Roads; Roadside stalls; Veterinary hospitals; Water reticulation systems

4 Prohibited

Agriculture; Any other development not specified in item 2 or 3

2.2 Minimum land dimensions for the erection of a dwelling house

Not applicable

2.3 Critical habitat

The land does not include or comprise a critical habitat.

Note: Critical habitat registers are kept by the National Parks and Wildlife Service under the *Threatened Species Conservation Act 1995* and the Department of Fisheries under the *Fisheries Management Act 1994*.

2.4 Conservation areas

The land is not within a conservation area.

2.5 Environmental Heritage

The land does not contain an item of environmental heritage under the protection of Blacktown Local Environmental Plan 2015

3. Complying development

Complying development may or may not be carried out on the subject land under an Environmental Planning Policy. Council does not have sufficient information to determine the extent to which specific complying development may or may not be carried out.

4. Coastal protection

The subject land is not affected by the operation of Sections 38 or 39 of the *Coastal Protection Act, 1979*.

5. Mine subsidence

The subject land has not been proclaimed to be a mine subsidence district within the meaning of Section 15 of the *Mine Subsidence Compensation Act 1961*.

6. Road widening and road realignment

The subject land is not affected by road widening or road realignment under an environmental planning instrument.

7. Council and other public authority policies on hazard risk restrictions

7.1 Contaminated Lands Policy and Asbestos Policy Schedule 6

Council has adopted a Contaminated Lands Policy and an Asbestos Policy which may restrict development on the subject land.

The Land Contamination Policy applies when zoning or land use changes are proposed on land which has previously been used for certain purposes or has the potential to be affected by such purposes undertaken on nearby lands. The Asbestos Policy applies where land contains, or is likely to have contained in the past, buildings or structures that were erected prior to the banning of asbestos. Both policies should be considered in the context of relevant State legislation and guidelines.

Council's records may not be sufficient to determine all previous uses on the land, or determine activities that may have taken place on this land.

7.2 Other policies on hazard risk restrictions

Council has not adopted any other policies to restrict the development of the subject land by reason of the likelihood of landslip, bushfire, tidal inundation, subsidence or the occurrence of acid sulphate soils.

Note: Although Council has not adopted a specific policy to restrict development bushfire prone land, it is bound by state-wide bushfire legislation that may restrict development on the subject land. Additional information relating to bushfire prone land is provided at point 11 below.

7a. Flood related development controls information

Council has adopted a Floodplain Management Policy which may restrict the development of the land subject to this Certificate, including development for the purposes of dwelling houses, dual occupancies, multi-dwelling housing, residential flat buildings and any other purpose that requires the placement or erection of any structure on the land. The Flood Risk Precinct Maps prepared under the policy are based on the results of Engineering Flood Studies commissioned by Government Authorities and Council. These maps indicate that the land subject to this Certificate lies partly or wholly within the High Flood Risk Precinct. The term High Flood Risk Precinct is defined as the area of land below the 100-year flood event that is either subject to a high hydraulic hazard or where there are significant evacuation difficulties. Further details are provided in the NSW Government's Floodplain Development Manual and are available from Council. Council does not warrant that the information provided or made available to you is complete. Council strongly recommends that, in all cases, you seek independent professional advice to supplement your enquiries.

This lot is shown flood prone on mapping provided by the Department of Planning. The investigation for this area has not been completed and all enquiries should be directed to the Department of Planning. Flood related development controls for this lot are provided in the Development Control Plan for this area, prepared by the Department of Planning. Where development is proposed within or adjacent to land that is shown on the Flood Prone Land figure as being affected by the 1% AEP level, Council may require a more detailed flood study to be undertaken by the applicant to confirm the extent on the flood affectation on that land.

There are currently no mainstream or backwater flood-related development controls adopted by Council that apply to the land subject to this Certificate

8. Land reserved for acquisition

Blacktown Local Environmental Plan 2015 makes provision for land included on the Land Reservation Acquisition Map to be acquired by a public authority.

9. Contributions plans

Council currently levies contributions under Section 7.11 of the *Environmental Planning & Assessment Act 1979* for facilities and services. The further development of the subject land may incur such contributions.

9a. Biodiversity certified land

The land is not biodiversity certified land as defined by Part 7AA of the *Threatened Species Conservation Act 1995*.

10. Biobanking agreements

The land is not subject to any biobanking agreement under Part 7A of the *Threatened Species Conservation Act 1995*.

11. Bushfire prone land

The Rural Fires and Environmental Assessment Legislation Amendment Act 2002, which came into force on 1 August 2002, introduced development provisions for bush fire prone land as shown on a Bush Fire Prone Land Map. "Bush fire prone land" is land that has been designated by the Commissioner of the NSW Rural Fire Service as being bush fire prone due to characteristics of vegetation and topography. The land the subject of this certificate has been identified on Council's Bush Fire Prone Land Map as being:

Clear of any bush fire prone land

On land that is bush fire prone, certain development may require further consideration under Section 4.14 or Section 4.46 of the *Environmental Planning & Assessment Act 1979* and under Section 100B of the *Rural Fires Act 1997*.

12. Property vegetation plans

The subject land is not affected by a property vegetation plan under the *Native Vegetation Act 2003*. The Blacktown local government area is excluded from the operation of the *Native Vegetation Act 2003* (refer Schedule 1 Part 3 of that Act).

13. Orders under *Trees (Disputes Between Neighbours) Act 2006*

No. Council has not been notified of any order made under the *Trees (Disputes Between Neighbours) Act 2006* in relation to the subject land.

14. Site compatibility certificates and conditions for seniors housing

Land to which this Certificate applies is not subject to the above.

15. Site compatibility certificates for infrastructure

Land to which this Certificate applies is not subject to the above.

16. Site compatibility certificates and conditions for affordable rental housing

Land to which this Certificate applies is not subject to the above.

17. Paper subdivision information

Not applicable

18. Site verification certificates

Council is not aware of any site verification certificate applying to the subject land.

Under the *Contaminated Land Management Act 1997* and *Contaminated Land Management Amendment Act 2008*

- (a) The land to which this certificate relates has not been declared to be significantly contaminated land at the date when the certificate was issued
- (b) The land to which the certificate relates is not subject to a management order at the date when the certificate was issued
- (c) The land to which this certificate relates is not the subject of an approved voluntary management proposal at the date when the certificate was issued
- (d) The land to which this certificate relates is not subject to an ongoing maintenance order as at the date when the certificate was issued
- (e) The land to which this certificate relates is not the subject of a site audit statement provided to the Council.

19. Affected building notices and building product rectification orders

19.1 Affected building notices

Council is not aware of any affected building notice in force for the subject land.

19.2 Building product rectification orders

- (a) Council is not aware of any building product rectification order in force for the subject land.
- (b) Council is not aware of any notice of intention to make a building product rectification order being given for the subject land.

Section 10.7(5)

The following information is provided under Section 10.7(5) of the *Environmental Planning & Assessment Act 1979*. As per section 10.7(6) of the Act, Council shall not incur any liability in respect of any advice provided in good faith under section 10.7(5). The absence of any reference to any matter affecting the land shall not imply that the land is not affected by any matter not referred to in this Certificate.

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Loose-filled Asbestos Insulation

Some residential homes located in the Blacktown Local Government Area may potentially contain loose-fill asbestos insulation, for example in the roof space. NSW Fair Trading maintains a Register of homes that are affected by loose-fill asbestos insulation.

You should make your own enquiries as to the age of the buildings on the land to which this certificate relates and, if it contains a building constructed prior to 1980, the council strongly recommends that any potential purchaser obtain advice from a licensed asbestos assessor to determine whether loose-fill asbestos is present in any building on the land and, if so, the health risks (if any) this may pose for the building's occupants.

Contact NSW Fair Trading for further information

Biodiversity and Threatened Species Conservation

The land is affected by a tree preservation control under Clause 5.9 of the Blacktown Local Environmental Plan 2015. A person shall not ringbark, cut down, lop, top, remove, injure or wilfully destroy any tree, or cause any tree to be ringbarked, cut down, topped, lopped, injured or wilfully destroyed, except with the consent of the Council.

The provisions of any covenant, agreement or instrument applying to this land purporting to restrict or prohibit certain development may be inconsistent with the provisions of a Regional Environmental Plan, State Environmental Planning Policy or Blacktown Local Environmental Plan 2015, in which case the provisions of any such covenant, agreement or instrument may be overridden.

The *Threatened Species Conservation Act 1995* provides for the conservation of threatened species, populations and ecological communities of animals and plants.

The *Threatened Species Conservation Act 1995* amended the *Environmental Planning and Assessment Act 1979* to require, amongst other things, that:

- (a) A critical habitat (as defined in the *Threatened Species Conservation Act 1995*) be identified in environmental planning instruments, and
- (b) Consent authorities and determining authorities must, when considering proposed development or an activity, assess whether it is likely to significantly affect threatened species, populations and ecological communities, or their habitats, and, if a significant effect is likely, to require the preparation of a species impact statement in accordance with the requirements of the *Threatened Species Conservation Act 1995*, and
- (c) Consent authorities and determining authorities must, when considering proposed development or an activity, have regard to the relevant recovery plans and threat abatement plans.

The *Environment Protection and Biodiversity Conservation Act 1999* provides protection for items of national significance. Items of national environmental significance include nationally threatened animal and plant species and ecological communities.

The Act requires a separate Commonwealth approval to be obtained where an action is likely to have significant impacts on items of national environmental significance.

For further information on this matter, please contact the Australian Government's Department of the Environment.

This land may contain an Aboriginal archaeological site under the protection of the National Parks and Wildlife Service Act, 1974. Before any development can proceed in an area known to contain Aboriginal archaeological sites, a consent to destroy must be obtained from the Director of the National Parks and Wildlife Service.

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This policy enables development to be carried out for recreational, sporting and cultural purposes within the Western Sydney Recreation Area, including the development of a recreation area of state significance.

Attachment 2**Draft West Schofields Precinct Plan****Proposed Land Use Table****Proposed Zone: E2 Environmental Conservation****1 Objectives of zone**

- To protect, manage and restore areas of high ecological, scientific, cultural or aesthetic values.
- To prevent development that could destroy, damage or otherwise have an adverse effect on those values.

2 Permitted without consent

Nil

3 Permitted with consent

Drainage; Earthworks; Environmental facilities; Environmental protection works; Flood mitigation works; Information and education facilities; Kiosks; Recreation areas; Roads; Signage; Waterbodies (artificial)

4 Prohibited

Any development not specified in item 2 or 3

Draft West Schofields Precinct Plan**Proposed Land Use Table****Proposed Zone: RE1 Public Recreation****1 Objectives of zone**

- To enable land to be used for public open space or recreational purposes.
- To provide a range of recreational settings and activities and compatible land uses.
- To protect and enhance the natural environment for recreational purposes.

2 Permitted without consent

Nil

3 Permitted with consent

Building identification signs; Business identification signs; Community facilities; Drainage; Earthworks; Environmental facilities; Environmental protection works; Flood mitigation works; Kiosks; Recreation areas; Recreation facilities (indoor); Recreation facilities (outdoor); Roads; Sewerage systems; Waterbodies (artificial)

4 Prohibited

Any development not specified in item 2 or 3

Authorised by Blacktown City Council
Proforma ID: 812191

End of Certificate

Applicant Details

Your reference N3718-LOT 1

HAZMAT SERVICES C/- DAMIEN HENDRICKX
LEVEL 1, 45C FITZROY STREET
CARRINGTON NSW 2294

Certificate Details

Certificate no.	PL2020/08538	Fee: \$133.00
Date issued	06 July 2020	Urgency fee: N/A
Receipt no.	ePay Ref 89678	

Property information

Property ID	327627	Land ID	327618
Legal description	LOT 1 DP 135870		
Address	GARFIELD ROAD WEST RIVERSTONE NSW 2765		
County	CUMBERLAND	Parish	GIDLEY

PLANNING CERTIFICATE (Section 10.7(2 & 5))

Blacktown City Council prepared this Planning Certificate under Section 10.7 of the *Environmental Planning and Assessment Act 1979*. The form and content of the Certificate is consistent with *Environmental Planning and Assessment Regulation 2000*.

Disclaimer

Blacktown City Council gives notice and points out to all users of the information supplied herein, that the information herein has been compiled by Council from sources outside of Council's control. While the information herein is provided with all due care and in good faith, it is provided on the basis that Council will not accept any responsibility for and will not be liable for its contents or for any consequence arising from its use, and every user of such information is advised to make all necessary enquiries from the appropriate organisations, institutions and the like. Blacktown City Council also gives notice to all users of the information supplied herein, wherever any particular enquiry herein remains unanswered or has not been elaborated upon, such silence should not be interpreted as meaning or inferring either a negative or a positive response as the case may be.

Section 10.7(2)

The following information is provided under Section 10.7(2) of the *Environmental Planning and Assessment Act 1979*. The information relates to the subject land at the date of this Certificate.

1. Names of relevant planning instruments and development control plans

1.1 Environmental Planning Instrument

Blacktown Local Environmental Plan 2015 applies to the subject land.

1.2 Proposed Local Environmental Plans

Not applicable.

1.3 Other Applicable State Environmental Planning Policies

Attachment 1 contains a list of State Environmental Planning Policies that may apply to the carrying out of development on the subject land.

1.4 Proposed State Environmental Planning Policies

The subject land is affected by proposed amendments to *State Environmental Planning Policy (Sydney Region Growth Centres) 2006* - Appendix 12 to introduce new planning controls for the West Schofields Precinct. The intended effect of the new planning controls is to rezone the West Schofields Precinct for primarily residential, business, open space, community and infrastructure purposes. For further information refer to <https://www.planning.nsw.gov.au/Plans-for-your-area/Priority-Growth-Areas-and-Precincts/West-Schofields>

1.5 Development control plans

Blacktown Development Control Plan 2015 applies to the subject land.

2. Zoning and land use under relevant environmental planning instruments

The following information will assist in determining how the subject land may be developed. It is recommended that you read this section in conjunction with a full copy of any relevant environmental planning instrument as there may be additional provisions that affect how the land may be developed.

2.1 Zoning

Under *Blacktown Local Environmental Plan 2015*, the land is zoned:

Zone RU4 Primary Production Small Lots

The following is an extract from *Blacktown Local Environmental Plan 2015* outlining the types of development that may or may not be carried out in the above zone

1 Objectives of zone

- *To enable sustainable primary industry and other compatible land uses.*
- *To encourage and promote diversity and employment opportunities in relation to primary industry enterprises, particularly those that require smaller lots or that are more intensive in nature.*
- *To minimise conflict between land uses within this zone and land uses within adjoining zones.*
- *To ensure that development does not prejudice the orderly and economic development of future urban land.*
- *To ensure that development is sympathetic to the ecological attributes of the area.*

2 Permitted without consent

Home occupations

3 Permitted with consent

Agricultural produce industries; Aquaculture; Bed and breakfast accommodation; Building identification signs; Business identification signs; Cemeteries; Community facilities; Crematoria; Dwelling houses; Environmental facilities; Environmental protection works; Extensive agriculture; Farm buildings; Flood mitigation works; Heliports; Home businesses; Home industries; Intensive plant agriculture; Landscaping material supplies; Places of public worship; Plant nurseries; Recreation facilities (outdoor); Roads; Roadside stalls; Veterinary hospitals; Water reticulation systems

4 Prohibited

Agriculture; Any other development not specified in item 2 or 3

2.2 Minimum land dimensions for the erection of a dwelling house

Not applicable

2.3 Critical habitat

The land does not include or comprise a critical habitat.

Note: Critical habitat registers are kept by the National Parks and Wildlife Service under the *Threatened Species Conservation Act 1995* and the Department of Fisheries under the *Fisheries Management Act 1994*.

2.4 Conservation areas

The land is not within a conservation area.

2.5 Environmental Heritage

The land does not contain an item of environmental heritage under the protection of Blacktown Local Environmental Plan 2015

3. Complying development

Complying development may or may not be carried out on the subject land under an Environmental Planning Policy. Council does not have sufficient information to determine the extent to which specific complying development may or may not be carried out.

4. Coastal protection

The subject land is not affected by the operation of Sections 38 or 39 of the *Coastal Protection Act, 1979*.

5. Mine subsidence

The subject land has not been proclaimed to be a mine subsidence district within the meaning of Section 15 of the *Mine Subsidence Compensation Act 1961*.

6. Road widening and road realignment

The subject land is not affected by road widening or road realignment under an environmental planning instrument.

7. Council and other public authority policies on hazard risk restrictions

7.1 Contaminated Lands Policy and Asbestos Policy Schedule 6

Council has adopted a Contaminated Lands Policy and an Asbestos Policy which may restrict development on the subject land.

The Land Contamination Policy applies when zoning or land use changes are proposed on land which has previously been used for certain purposes or has the potential to be affected by such purposes undertaken on nearby lands. The Asbestos Policy applies where land contains, or is likely to have contained in the past, buildings or structures that were erected prior to the banning of asbestos. Both policies should be considered in the context of relevant State legislation and guidelines.

Council's records may not be sufficient to determine all previous uses on the land, or determine activities that may have taken place on this land.

7.2 Other policies on hazard risk restrictions

Council has not adopted any other policies to restrict the development of the subject land by reason of the likelihood of landslip, bushfire, tidal inundation, subsidence or the occurrence of acid sulphate soils.

Note: Although Council has not adopted a specific policy to restrict development bushfire prone land, it is bound by state-wide bushfire legislation that may restrict development on the subject land. Additional information relating to bushfire prone land is provided at point 11 below.

7a. Flood related development controls information

There are currently no mainstream or backwater flood-related development controls adopted by Council that apply to the land subject to this Certificate

This lot is shown flood prone on mapping provided by the Department of Planning. The investigation for this area has not been completed and all enquiries should be directed to the Department of Planning. Flood related development controls for this lot are provided in the Development Control Plan for this area, prepared by the Department of Planning. Where development is proposed within or adjacent to land that is shown on the Flood Prone Land figure as being affected by the 1% AEP level, Council may require a more detailed flood study to be undertaken by the applicant to confirm the extent on the flood affectation on that land.

Council has adopted a Floodplain Management Policy which may restrict the development of the land subject to this Certificate, including development for the purposes of dwelling houses, dual occupancies, multi-dwelling housing, residential flat buildings and any other purpose that requires the placement or erection of any structure on the land. The Flood Risk Precinct Maps prepared under the policy are based on the results of Engineering Flood Studies commissioned by Government Authorities and Council. These maps indicate that the land subject to this Certificate lies partly or wholly within the High Flood Risk Precinct. The term High Flood Risk Precinct is defined as the area of land below the 100-year flood event that is either subject to a high hydraulic hazard or where there are significant evacuation difficulties. Further details are provided in the NSW Government's Floodplain Development Manual and are available from Council. Council does not warrant that the information provided or made available to you is complete. Council strongly recommends that, in all cases, you seek independent professional advice to supplement your enquiries.

8. Land reserved for acquisition

Blacktown Local Environmental Plan 2015 makes provision for land included on the Land Reservation Acquisition Map to be acquired by a public authority.

9. Contributions plans

Council currently levies contributions under Section 7.11 of the *Environmental Planning & Assessment Act 1979* for facilities and services. The further development of the subject land may incur such contributions.

9a. Biodiversity certified land

The land is not biodiversity certified land as defined by Part 7AA of the *Threatened Species Conservation Act 1995*.

10. Biobanking agreements

The land is not subject to any biobanking agreement under Part 7A of the *Threatened Species Conservation Act 1995*.

11. Bushfire prone land

The Rural Fires and Environmental Assessment Legislation Amendment Act 2002, which came into force on 1 August 2002, introduced development provisions for bush fire prone land as shown on a Bush Fire Prone Land Map. "Bush fire prone land" is land that has been designated by the Commissioner of the NSW Rural Fire Service as being bush fire prone due to characteristics of vegetation and topography. The land the subject of this certificate has been identified on Council's Bush Fire Prone Land Map as being:

Clear of any bush fire prone land

On land that is bush fire prone, certain development may require further consideration under Section 4.14 or Section 4.46 of the *Environmental Planning & Assessment Act 1979* and under Section 100B of the *Rural Fires Act 1997*.

12. Property vegetation plans

The subject land is not affected by a property vegetation plan under the *Native Vegetation Act 2003*. The Blacktown local government area is excluded from the operation of the *Native Vegetation Act 2003* (refer Schedule 1 Part 3 of that Act).

13. Orders under *Trees (Disputes Between Neighbours) Act 2006*

No. Council has not been notified of any order made under the *Trees (Disputes Between Neighbours) Act 2006* in relation to the subject land.

14. Site compatibility certificates and conditions for seniors housing

Land to which this Certificate applies is not subject to the above.

15. Site compatibility certificates for infrastructure

Land to which this Certificate applies is not subject to the above.

16. Site compatibility certificates and conditions for affordable rental housing

Land to which this Certificate applies is not subject to the above.

17. Paper subdivision information

Not applicable

18. Site verification certificates

Council is not aware of any site verification certificate applying to the subject land.

Under the *Contaminated Land Management Act 1997* and *Contaminated Land Management Amendment Act 2008*

- (a) The land to which this certificate relates has not been declared to be significantly contaminated land at the date when the certificate was issued
- (b) The land to which the certificate relates is not subject to a management order at the date when the certificate was issued
- (c) The land to which this certificate relates is not the subject of an approved voluntary management proposal at the date when the certificate was issued
- (d) The land to which this certificate relates is not subject to an ongoing maintenance order as at the date when the certificate was issued
- (e) The land to which this certificate relates is not the subject of a site audit statement provided to the Council.

19. Affected building notices and building product rectification orders

19.1 Affected building notices

Council is not aware of any affected building notice in force for the subject land.

19.2 Building product rectification orders

- (a) Council is not aware of any building product rectification order in force for the subject land.
- (b) Council is not aware of any notice of intention to make a building product rectification order being given for the subject land.

Section 10.7(5)

The following information is provided under Section 10.7(5) of the *Environmental Planning & Assessment Act 1979*. As per section 10.7(6) of the Act, Council shall not incur any liability in respect of any advice provided in good faith under section 10.7(5). The absence of any reference to any matter affecting the land shall not imply that the land is not affected by any matter not referred to in this Certificate.

Planning Instruments and Covenants

The provisions of any covenant, agreement or instrument applying to this land that restrict or prohibit certain development may be inconsistent with the provisions of an environmental planning instrument. In such cases, the provisions of any such covenant, agreement or instrument may be overridden.

Loose-filled Asbestos Insulation

Some residential homes located in the Blacktown Local Government Area may potentially contain loose-fill asbestos insulation, for example in the roof space. NSW Fair Trading maintains a Register of homes that are affected by loose-fill asbestos insulation.

You should make your own enquiries as to the age of the buildings on the land to which this certificate relates and, if it contains a building constructed prior to 1980, the council strongly recommends that any potential purchaser obtain advice from a licensed asbestos assessor to determine whether loose-fill asbestos is present in any building on the land and, if so, the health risks (if any) this may pose for the building's occupants.

Contact NSW Fair Trading for further information

Biodiversity and Threatened Species Conservation

The land is affected by a tree preservation control under Clause 5.9 of the Blacktown Local Environmental Plan 2015. A person shall not ringbark, cut down, lop, top, remove, injure or wilfully destroy any tree, or cause any tree to be ringbarked, cut down, topped, lopped, injured or wilfully destroyed, except with the consent of the Council.

The provisions of any covenant, agreement or instrument applying to this land purporting to restrict or prohibit certain development may be inconsistent with the provisions of a Regional Environmental Plan, State Environmental Planning Policy or Blacktown Local Environmental Plan 2015, in which case the provisions of any such covenant, agreement or instrument may be overridden.

The *Threatened Species Conservation Act 1995* provides for the conservation of threatened species, populations and ecological communities of animals and plants.

The *Threatened Species Conservation Act 1995* amended the *Environmental Planning and Assessment Act 1979* to require, amongst other things, that:

- (a) A critical habitat (as defined in the *Threatened Species Conservation Act 1995*) be identified in environmental planning instruments, and
- (b) Consent authorities and determining authorities must, when considering proposed development or an activity, assess whether it is likely to significantly affect threatened species, populations and ecological communities, or their habitats, and, if a significant effect is likely, to require the preparation of a species impact statement in accordance with the requirements of the *Threatened Species Conservation Act 1995*, and
- (c) Consent authorities and determining authorities must, when considering proposed development or an activity, have regard to the relevant recovery plans and threat abatement plans.

The *Environment Protection and Biodiversity Conservation Act 1999* provides protection for items of national significance. Items of national environmental significance include nationally threatened animal and plant species and ecological communities.

The Act requires a separate Commonwealth approval to be obtained where an action is likely to have significant impacts on items of national environmental significance.

For further information on this matter, please contact the Australian Government's Department of the Environment.

Attachment 1 – State Environmental Planning Policies

In addition to the principal environmental planning instrument identified in section 2.1 of this Certificate, the following State Environmental Planning Policies may also affect development on the subject land.

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SEPP (Western Sydney Recreation Area)

This policy enables development to be carried out for recreational, sporting and cultural purposes within the Western Sydney Recreation Area, including the development of a recreation area of state significance.

Attachment 2

Draft West Schofields Precinct Plan

Proposed Land Use Table

Proposed Zone: SP2 Infrastructure

1 Objectives of zone

- To provide for infrastructure and related uses.
- To prevent development that is not compatible with or that may detract from the provision of infrastructure.

2 Permitted without consent

Nil

3 Permitted with consent

The purpose shown on the [Land Zoning Map <https://www.legislation.nsw.gov.au/>](https://www.legislation.nsw.gov.au/), including any development that is ordinarily incidental or ancillary to development for that purpose; Drainage; Earthworks; Environmental protection works; Flood mitigation works; Roads; Sewerage systems; Water recycling facilities; Waterbodies (artificial)

4 Prohibited

Any development not specified in item 2 or 3

Authorised by Blacktown City Council
Proforma ID: 812192

End of Certificate

APPENDIX E: NSW EPA RECORDS

Search results

Your search for:LGA: BLACKTOWN CITY COUNCIL

Matched 11 notices
relating to 2 sites.

[Search Again](#)

[Refine Search](#)

Suburb	Address	Site Name	Notices related to this site
KINGS PARK	21 Tattersall ROAD	Former Dow Corning Factory	6 former
SEVEN HILLS	27 Powers ROAD	Former Australian Waste Oil Refineries Site	5 former

Page 1 of 1

9 July 2020

For business and industry

For local government

Contact us

131 555 (tel:131555)

[Feedback Online](#)
(<https://yoursay.epa.nsw.gov.au/epa-website-feedback>)

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